

Gully Hazard Area
6m setback line.

Gully Hazard
Area Overlay

Wind Zone: High
EQ Zone: 1
Corrosion: B
Lot Size: 3389 m2
LLRZ : 1489 m2
Allowable site coverage 20%: 298 m2
Actual site coverage 19%: 282 m2
Permeable site area = 1115 m2 (75%)

Proposed 100 mm dia. subsoil drain behind retaining walls.

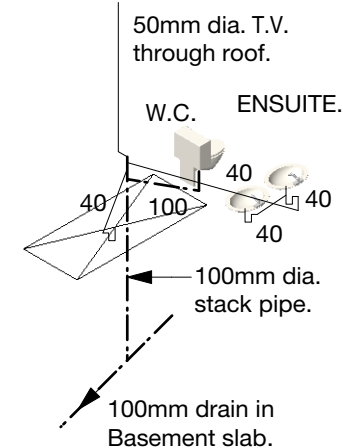
Proposed 100 mm dia. stormwater line with min. 1:90 fall.

Proposed 100 mm dia. sewer line with min. 1:60 fall.

Proposed 50 mm dia. thick walled alkathene LDPE pressure pipe.

SHEET INDEX:

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R1	Renders 1
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R3	Renders 2



First Floor Ensuite
Drainage Isometric.

Sanitary Sewer Note:
Sewer lines to discharge into
Engineer designed septic tank
system as shown.
Refer to Engineers Design Report
by TITUS Consulting Engineers
Ref. 11122

FIXTURE PIPE SIZES:

Basin	40mm dia. @ 1:40 fall
Bath	40mm dia. @ 1:40 fall
Shower	40mm dia. @ 1:40 fall
Sink	50mm dia. @ 1:40 fall
Tub	50mm dia. @ 1:40 fall
W.C. & waste pipes under conc. slab.	100mm dia. @ 1:60 fall

KEY:

T.V.	Terminal Vent
AAV	Air Admittance Valve
V	Vent
G.T.	Gully Trap
O.R.G.	Overflow Relief Gully
I.J.	Inspection Joint
I.B.	Inspection Bend
D.P.	100mm dia. Down Pipe

Note:
All foul water sanitary plumbing and drainage shall comply with AS/NZS 3500.
All stormwater drainage shall comply with NZBC E1 / AS1
All plumbing fixtures to be low flow and to have a min. 3 star rating to comply with NZ water efficiency scheme.

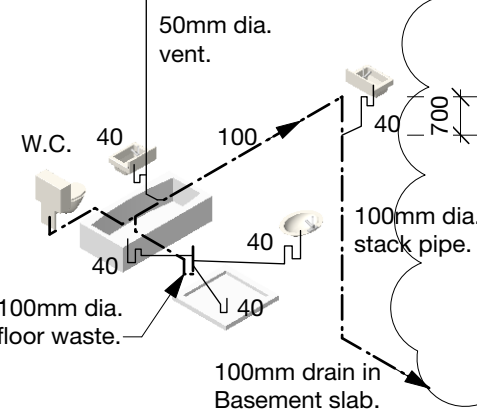
C	7/3/22	Living court relocated.
B	28/2/22	7m min. set back for driveway, septic & SW tanks.
A	28/1/22	Drainage Amendments.
REVISION:	DATE:	REVISION NOTE:

SITE PLAN - GULLY PROTECTION OVERLAY

DRAWN	CHECKED	DATE	SCALE @ A3	JOB No.
D. Cowie	D. Cowie	3/12/21	1:250	2107

DWG No.	C
REV	22

Note:
Corner of proposed 1.3m
high deck encroaches 1.0m
into side boundary set back.
(1.4 m2)



First Floor Bathroom
Drainage Isometric.

Stormwater Note:
Trickle feed and Roof water to discharge
into 2x25000L water tanks as shown with
over flow piped to the bottom of the gully
and discharge through a level spreader
onto an erosion control blanket of rock.
Refer to Engineers Design Report by
TITUS Consulting Engineers Ref. 11122
N.B. 50,000L caters for min. reservoir
capacity of 45,000L for Fire fighting
purposes as per Rule 25.13.4.4d

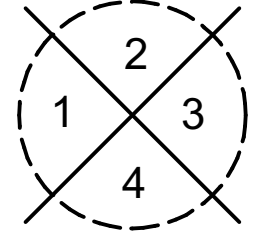
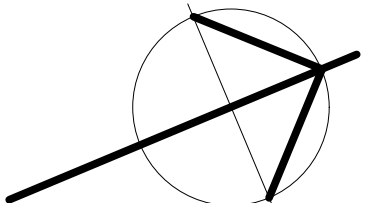
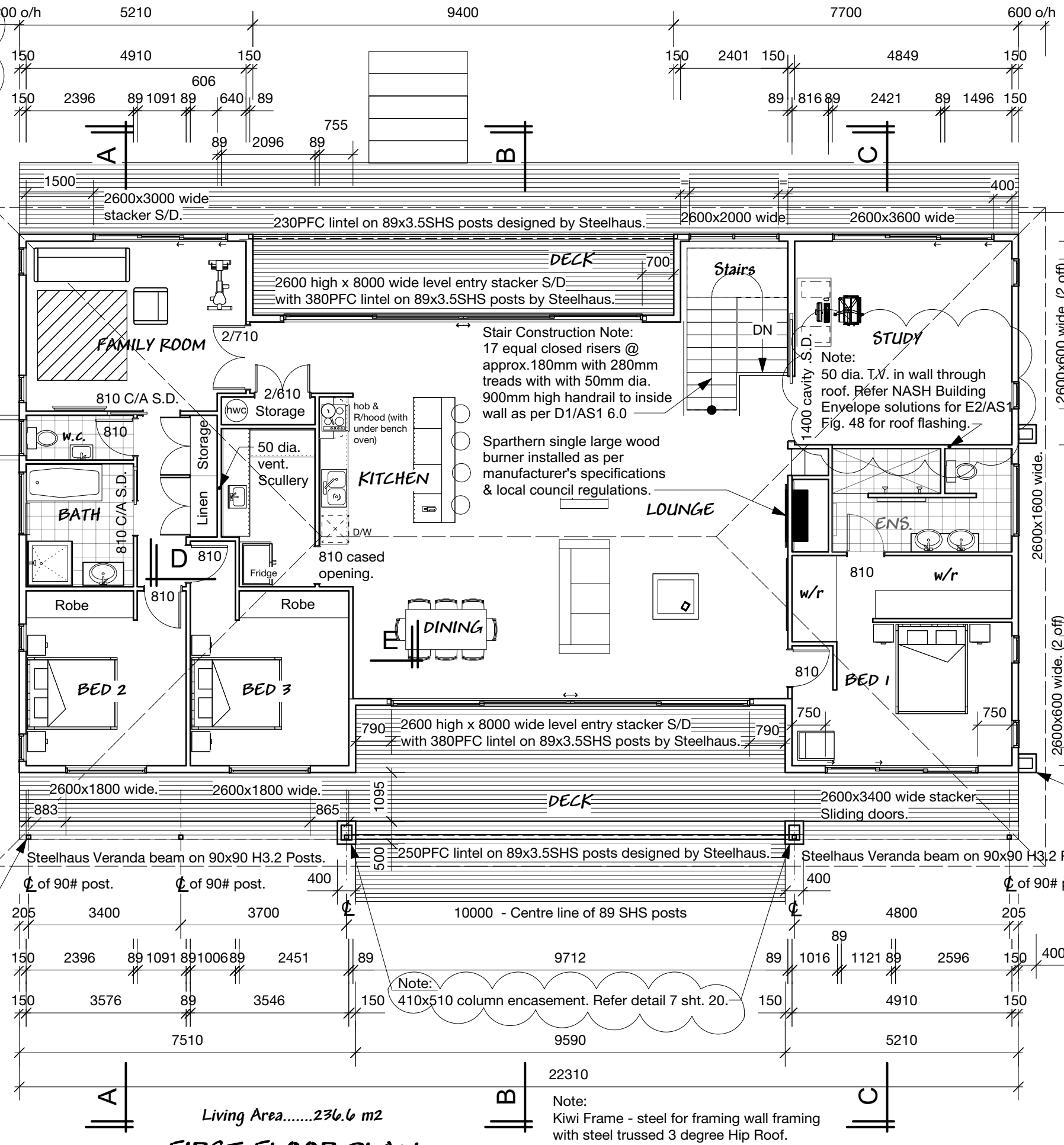
PROPOSED CAMERON RESIDENCE AT LOT 2 SH26 HAMILTON.

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Wet Areas Note:
All wet areas are to have approved safety glazing to windows and shower screens/doors and tiled or vinyl floors with tiled / painted finish to walls on 10mm Gib Aqualine wall lining and painted 13mm Aqualine ceiling linings to E3/AS1.
First Floor Bathroom, W.C. & Ensuite to have tiled floors Refer attached E3/AS1 Fig.1(b),Fig.3(b), Ens. tiled shower refer Fig.4(c). Basement Bathroom & L'dry. to have vinyl floors & cubical showers refer E3/AS1 Fig.1(a), Fig.3(b) & Fig.4(b). N.B. Main First floor Bathroom also has cubical shower (Fig.3(b))

Deck Construction Note:
Veranda posts / beams and deck columns / bearers to be temporary braced to enable the fixing of the roof structure and wall cladding prior to fixing of the deck stringers, joists and decking.



ELEVATION KEY

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PROPOSED CAMERON RESIDENCE
AT LOT 2 SH26 HAMILTON.

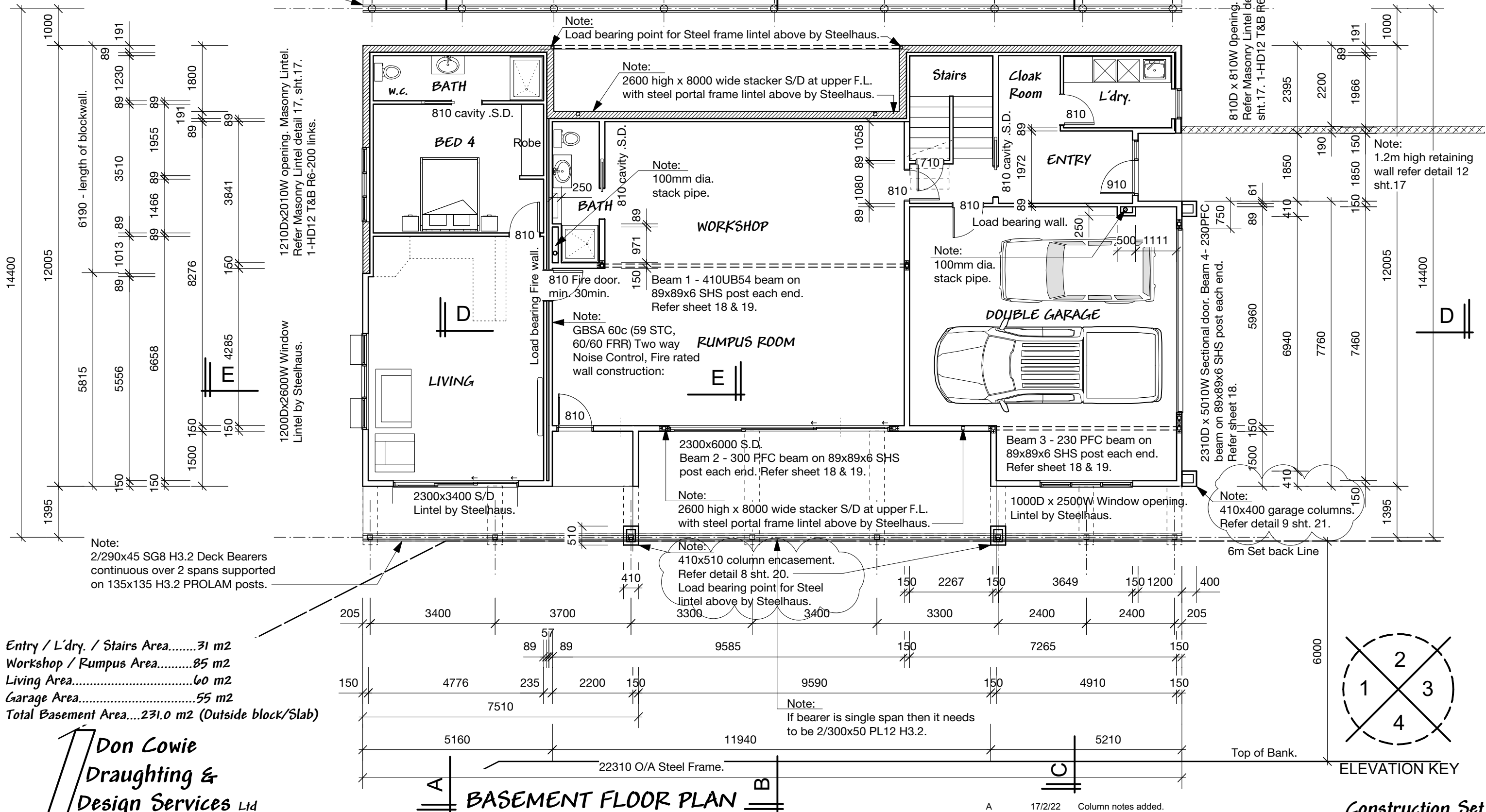
28/1/22 Bathroom wet areas note, column note, Deck construction note & T.V. note added.
REVISION: DATE: REVISION NOTE:

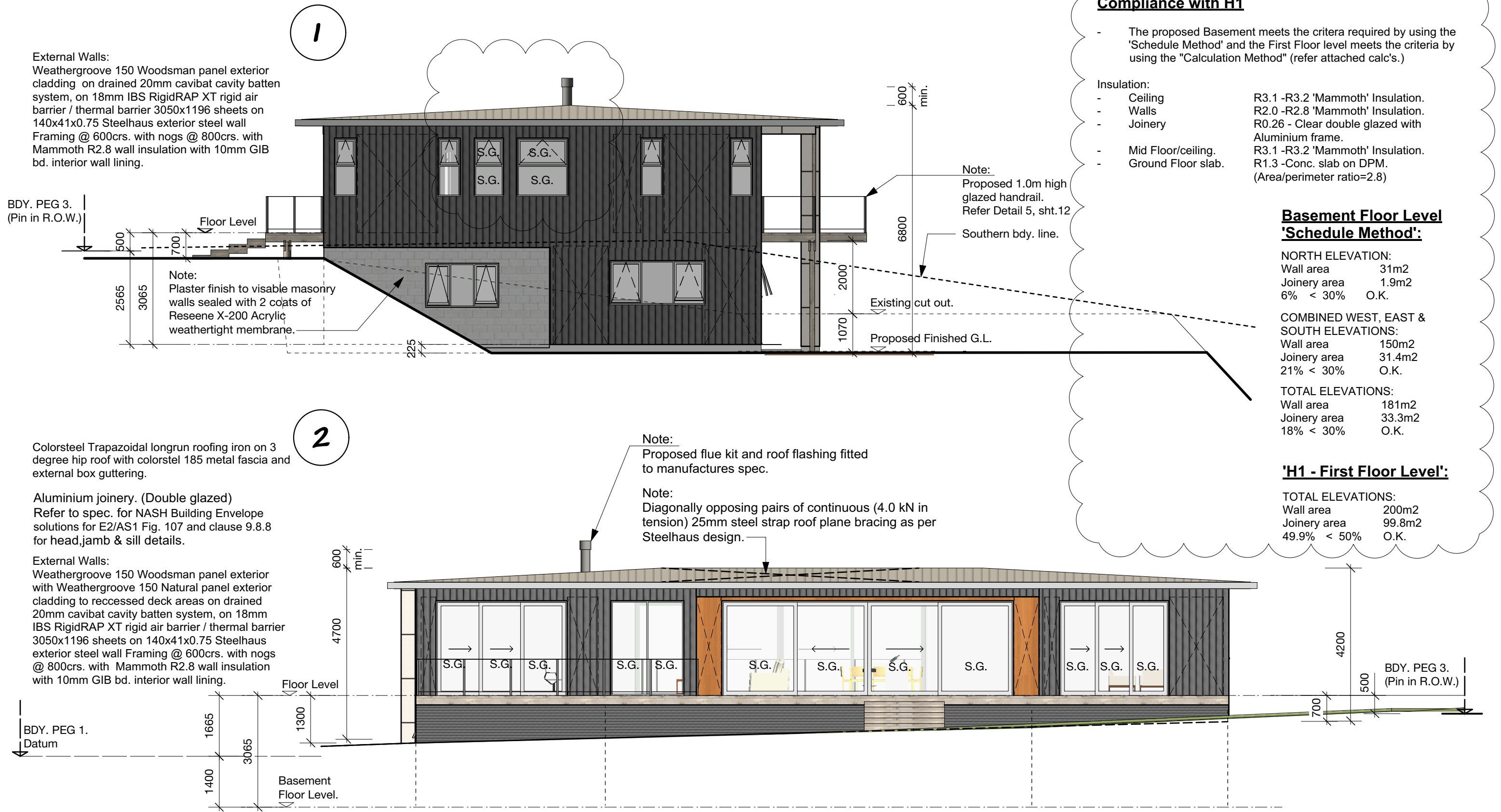
PROPOSED FIRST FLOOR PLAN				
DRAWN	CHECKED	DATE	SCALE @ A3	JOB No.
D. Cowie	D. Cowie	3/12/21	1:100	2107

DWG No.
2
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OF 22

Note:
Kiwi Frame - steel for framing wall framing
with steel EZY JOIST mid floor framing.

Note:
2/290x45 SG8 H3.2 Deck Bearers
continuous over 2 spans supported
on 200 SED HDT driven piles.





Insulation Notes:
Compliance with H1

- The proposed Basement meets the criteria required by using the 'Schedule Method' and the First Floor level meets the criteria by using the "Calculation Method" (refer attached calc's.)

Insulation:

- Ceiling
- Walls
- Joinery

R3.1 -R3.2 'Mammoth' Insulation.
R2.0 -R2.8 'Mammoth' Insulation.
R0.26 - Clear double glazed with Aluminium frame.
R3.1 -R3.2 'Mammoth' Insulation.
R1.3 -Conc. slab on DPM.
(Area/perimeter ratio=2.8)

Basement Floor Level
'Schedule Method':

NORTH ELEVATION:

Wall area 31m2
Joinery area 1.9m2
6% < 30% O.K.

COMBINED WEST, EAST & SOUTH ELEVATIONS:

Wall area 150m2
Joinery area 31.4m2
21% < 30% O.K.

TOTAL ELEVATIONS:

Wall area 181m2
Joinery area 33.3m2
18% < 30% O.K.

'H1 - First Floor Level':

TOTAL ELEVATIONS:

Wall area 200m2
Joinery area 99.8m2
49.9% < 50% O.K.

Note:
S.G. - shown on elevations denotes required safety glazing to comply with NZS 4223.3:2016

A 28/1/22 Safety glass to elevation 1 wet areas.
H1 Compliance. notes amended.

REVISION: DATE: REVISION NOTE:

PROPOSED ELEVATIONS 1 & 2

DRAWN	CHECKED	DATE	SCALE @ A3	JOB No.
D. Cowie	D. Cowie	3/12/21	1:100	2107

DWG No.
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Construction Set

Aluminium joinery. (Double glazed)
Refer to spec. for NASH Building Envelope
solutions for E2/AS1 Fig. 107 and clause 9.8.8
for head, jamb & sill details.

North Facing External Feature Wall:
Weathergroove 1200 Smooth panel exterior cladding on drained 20mm cavibat cavity batten system, on 18mm IBS RigidRAP XT rigid air barrier / thermal barrier 3050x1196 sheets on 140x41x0.75 Steelhaus exterior steel wall Framing @ 600crs. with nogs @ 800crs. with Mammoth D2.8 wall insulation with 10mm GIB bd. interior wall lining.

3

Note:
Proposed flue kit and roof flashing
fitted to manufactures spec. _____

External Walls:
Weathergroove 150 Woodsman panel exterior cladding on drained 20mm cavibat cavity batten system, on 18mm IBS RigidRAP XT rigid air barrier / thermal barrier 3050x1196 sheets on 140x41x0.75 Steelhaus exterior steel wall Framing @ 600crs. with nogs @ 800crs. with Mammoth R2.8 wall insulation with 10mm GIB bd. interior wall lining.

BDY. PEG 3.
(Pin in R.O.W.)

BDY. PEG 1.
Datum

Note:
Plaster finish to visible masonry walls sealed with 2 coats of Reseene X-200 Acrylic weathertight membrane.

4

External Walls:
Weathergroove 150 Woodsman panel exterior
with Weathergroove 150 Natural panel exterior
cladding to recessed deck areas on drained
20mm cavibat cavity batten system, on 18mm
IBS RigidRAP XT rigid air barrier / thermal barrier
3050x1196 sheets on 140x41x0.75 Steelhaus
exterior steel wall Framing @ 600crs. with nogs
@ 800crs. with Mammoth R2.8 wall insulation
with 10mm GIB bd. interior wall lining.

Proposed F.G.L.
along top of bank.

PROPOSED ELEVATIONS

PROPOSED CAMERON RESIDENCE
AT LOT 2 SH26 HAMILTON.

Note:
S.G. - shown on elevations denotes required safety glazing to comply with NZS 4223.3:2016

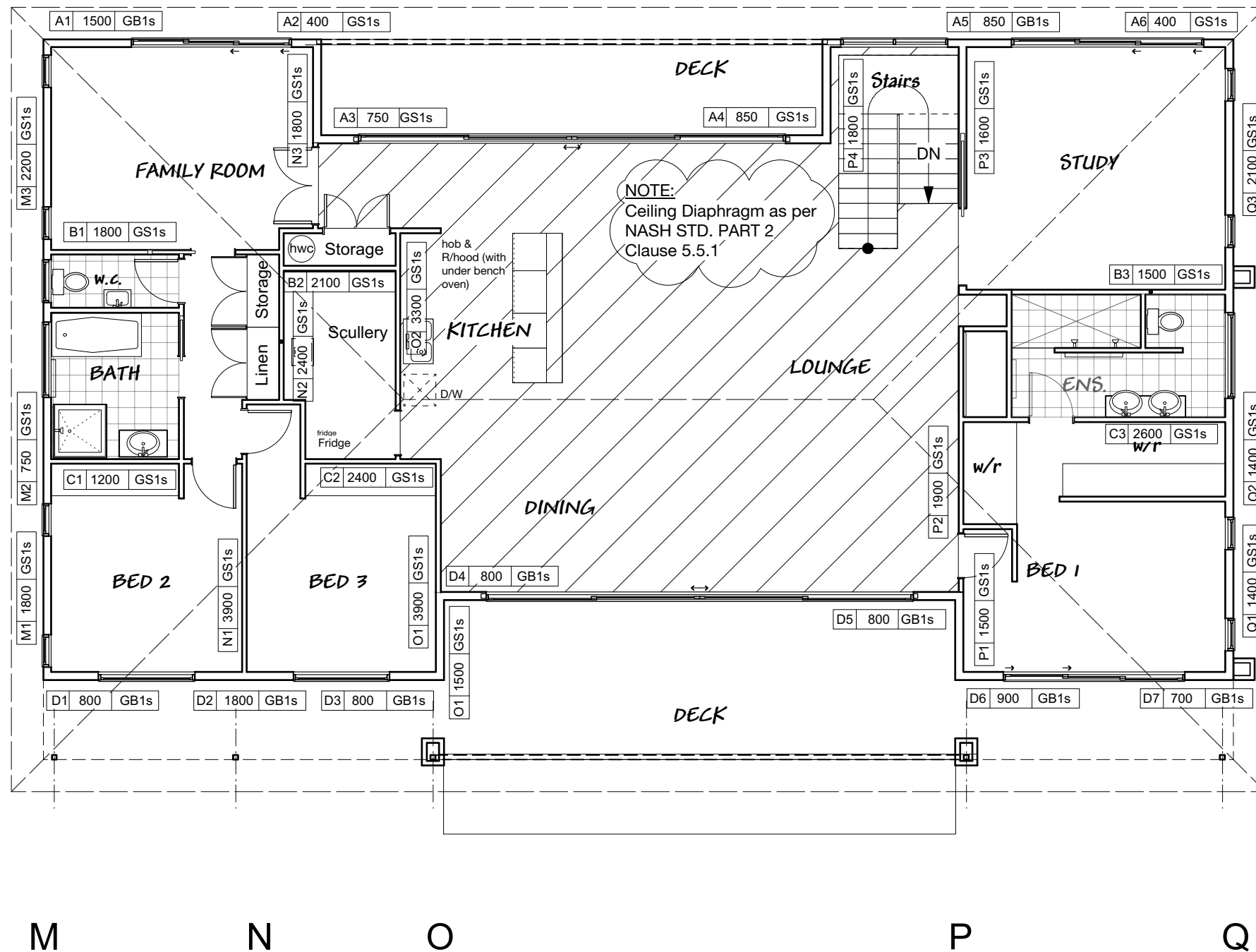
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REVISION:	DATE:	REVISION NOTE:

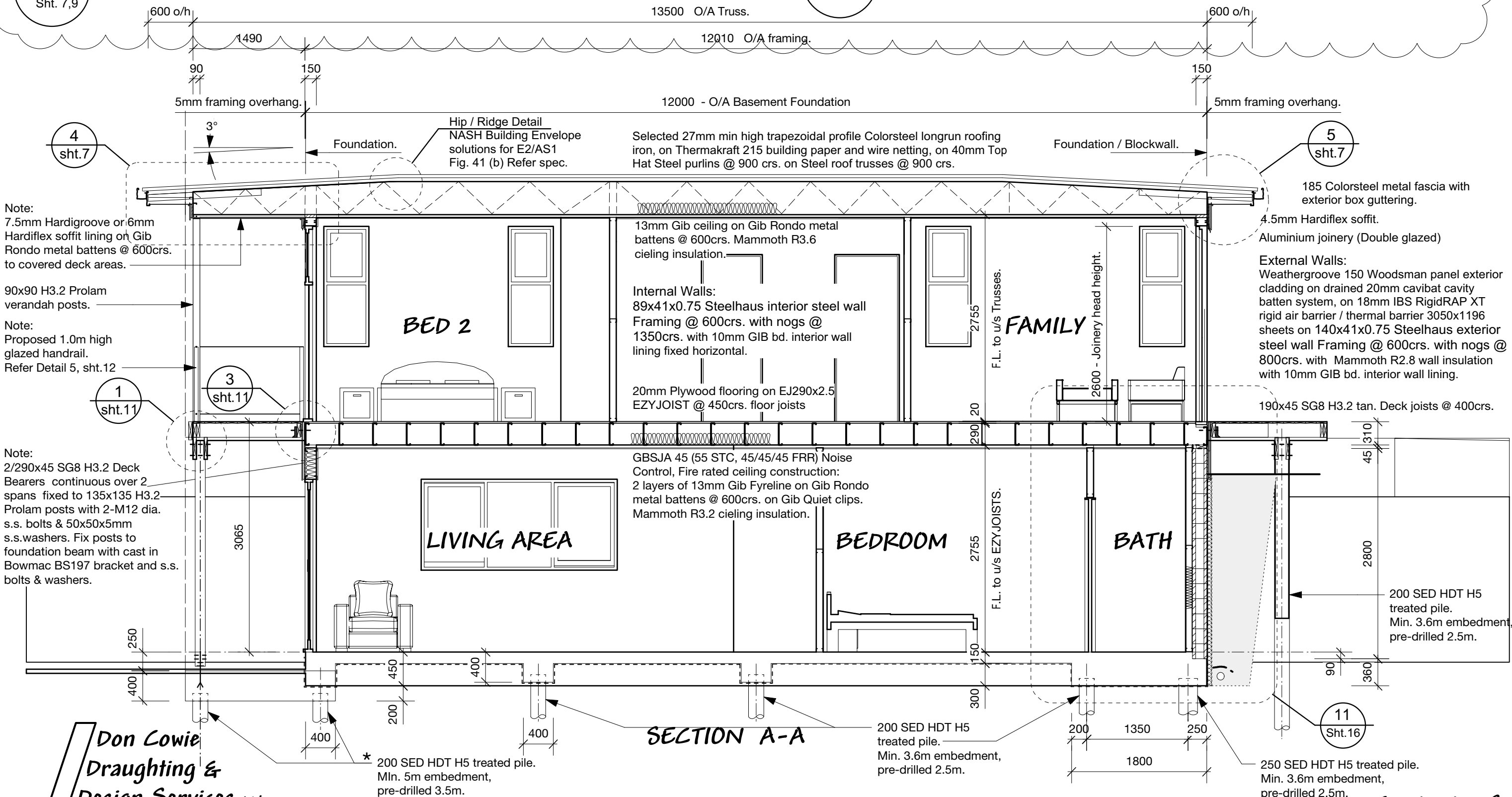
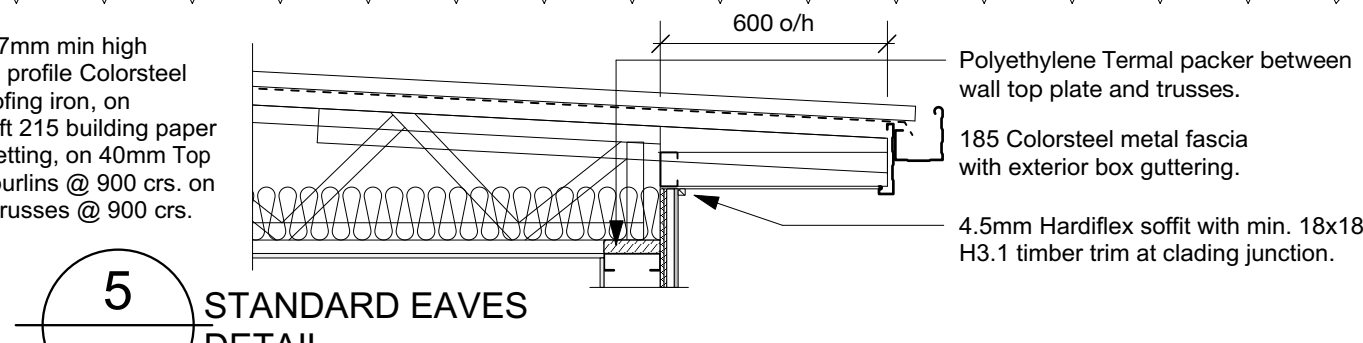
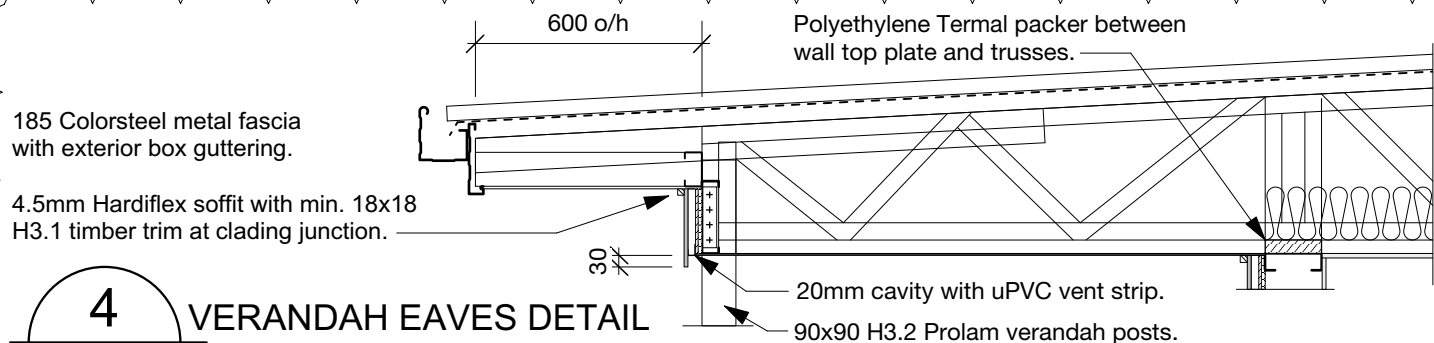
Construction Set

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<div> <div> REVISION DATE REVISION NOTE </div> <div> <div>PROPOSED ELEVATIONS</div> <div> <table border="1"> <tr> <th>DRAWN</th> <th>CHECKED</th> <th>DATE</th> <th>SCALE @ A3</th> <th>JOB No.</th> </tr> <tr> <td>D. Cowie</td> <td>D. Cowie</td> <td>3/12/21</td> <td>1:100</td> <td>2107</td> </tr> </table> </div> </div> </div> <div> DWG No. 5 A OF 22 REV </div>					DRAWN	CHECKED	DATE	SCALE @ A3	JOB No.	D. Cowie	D. Cowie	3/12/21	1:100	2107
DRAWN	CHECKED	DATE	SCALE @ A3	JOB No.										
D. Cowie	D. Cowie	3/12/21	1:100	2107										





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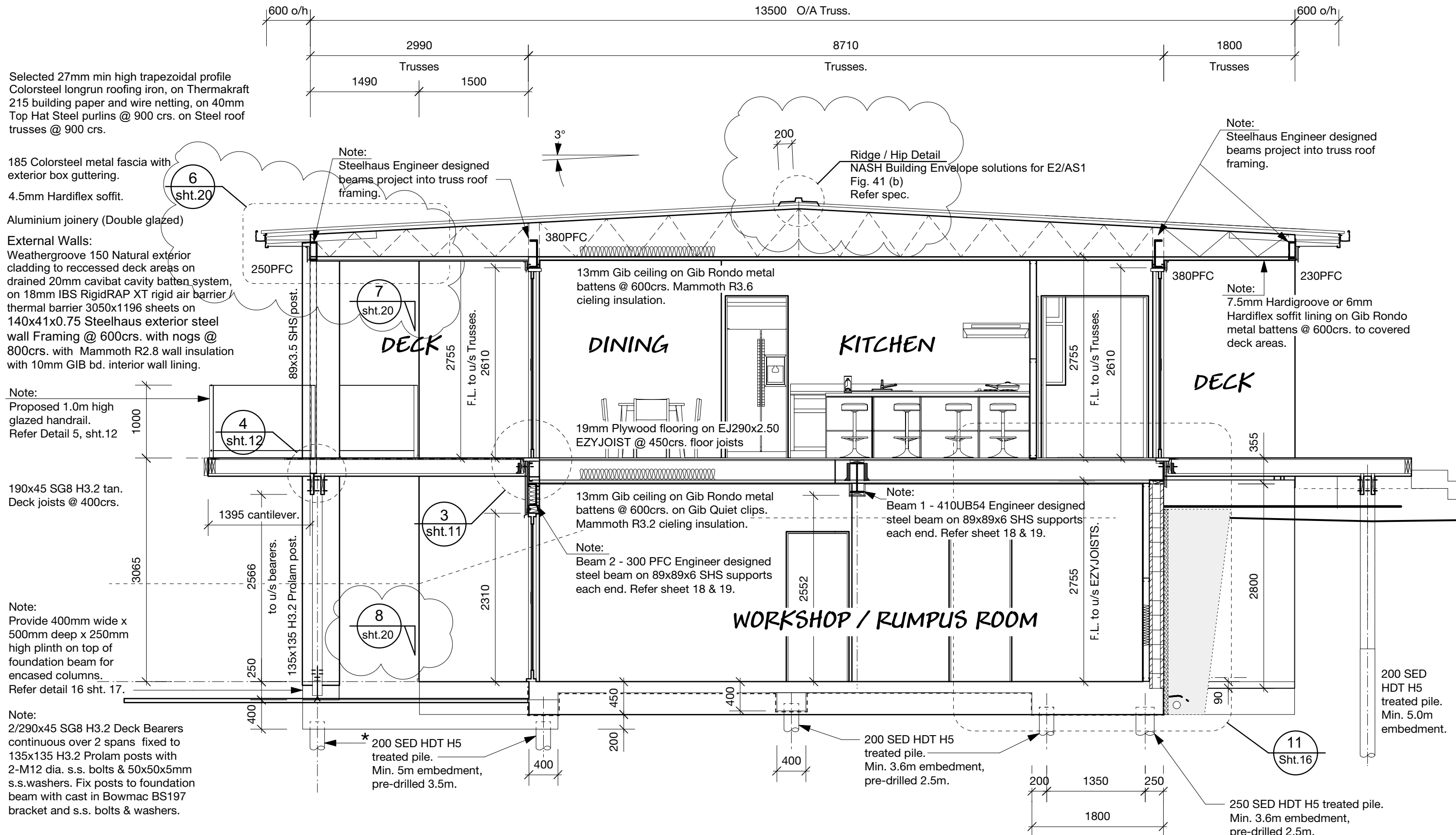
PROPOSED CAMERON RESIDENCE
AT LOT 2 SH26 HAMILTON.

A
REVISION: 17/2/22 Eaves Details 4 & 5 added.
DATE: REVISION NOTE:

SECTIONS A-A				
DRAWN	CHECKED	DATE	SCALE @ A3	JOB No.
D. Cowie	D. Cowie	3/12/21	1:50' 1:20	2107

DWG No. **7**
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Construction Set

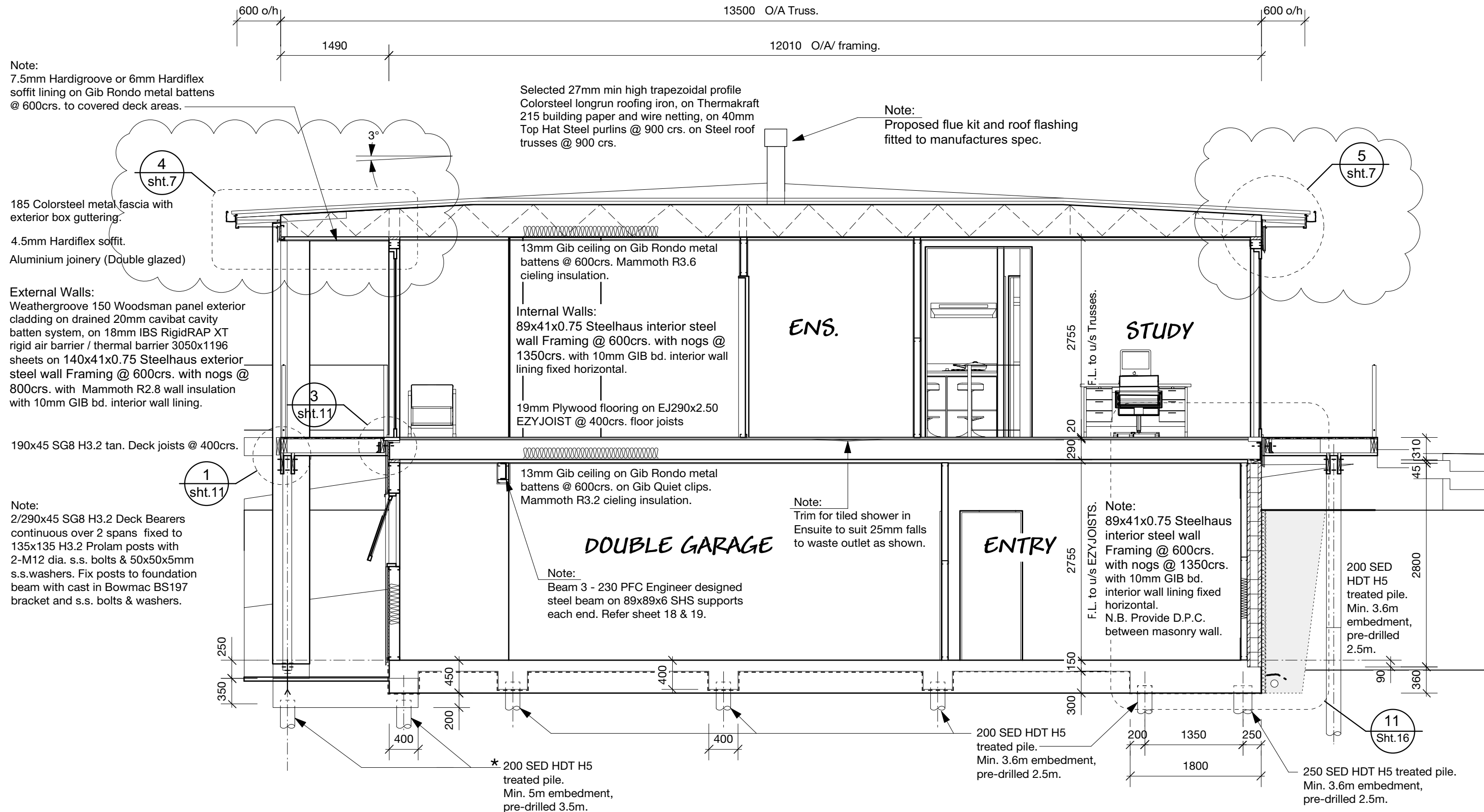


SECTION B-B

PROPOSED CAMERON RESIDENCE
AT LOT 2 SH26 HAMILTON.

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A		17/2/22	Ridge, eaves and column reference details added.		Construction Set	
REVISION:	DATE:		REVISION NOTE:		DWG No.	8
DRAWN		CHECKED		DATE		A
D. Cowie		D. Cowie		3/12/21		REV
SCALE @ A3		JOB No.		2107		OF 22



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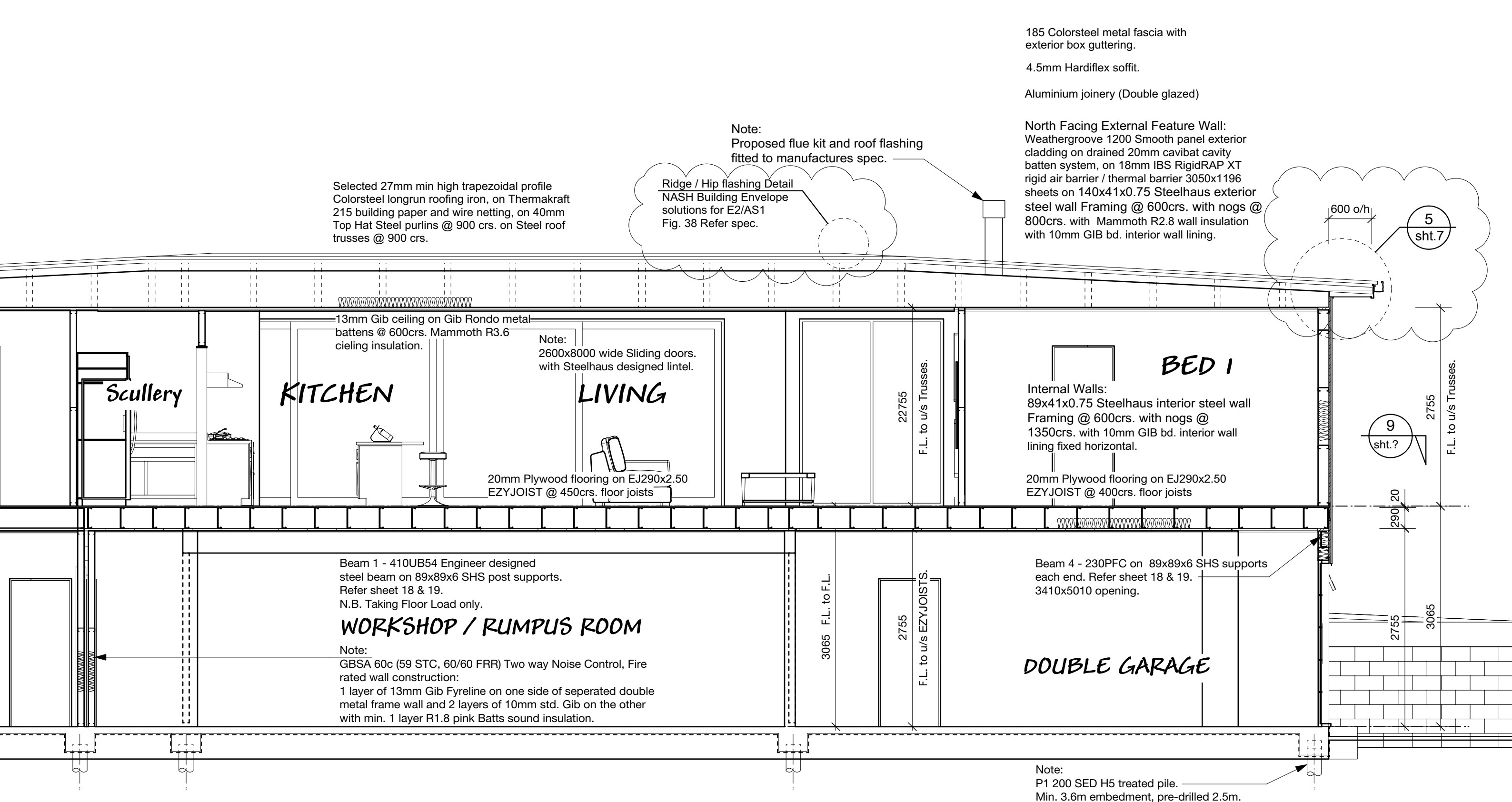
PROPOSED CAMERON RESIDENCE
AT LOT 2 SH26 HAMILTON.

A
REVISION: 17/2/22 Eaves and column reference details added.
DATE: REVISION NOTE:

SECTION C-C				
DRAWN	CHECKED	DATE	SCALE @ A3	JOB No.
D. Cowie	D. Cowie	3/12/21	1:50	2107

Construction Set

DWG No.
9
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SECTION D-D

PROPOSED CAMERON RESIDENCE
AT LOT 2 SH26 HAMILTON.

A	17/2/22	Ridge / Hip flashing, Eaves and column reference details added.			Construction Set
REVISION:	DATE:	REVISION NOTE:			
SECTION D-D					
DRAWN	CHECKED	DATE	SCALE @ A3	JOB No.	DWG No. 10 A REV OF 22
D. Cowie	D. Cowie	3/12/21	1:50	2107	

185 Colorsteel metal fascia with exterior box guttering.

4.5mm Hardiflex soffit.

Aluminium joinery (Double glazed)

External Walls:
Weathergroove 150 Woodsman panel exterior cladding on drained 20mm cavibat cavity batten system, on 18mm IBS RigidRAP XT rigid air barrier / thermal barrier 3050x1196 sheets on 140x41x0.75 Steelhaus exterior steel wall Framing @ 600crs. with nogs @ 800crs. with Mammoth R2.8 wall insulation with 10mm GIB bd. interior wall lining.

Selected 27mm min high trapezoidal profile Colorsteel longrun roofing iron, on Thermakraft 215 building paper and wire netting, on 40mm Top Hat Steel purlins @ 900 crs. on Steel roof trusses @ 900 crs.

Internal Walls:
89x41x0.75 Steelhaus interior steel wall Framing @ 600crs. with nogs @ 1350crs. with 10mm GIB bd. interior wall lining fixed horizontal.

20mm Plywood flooring on EJ290x2.50 EZYJOIST @ 450crs. floor joists

Weathergroove 150 Woodsman panels exterior cladding with Weathergroove 150 Natural to recessed deck areas and Weathergroove 1200 smooth panels to Northern Elevation on drained 20mm cavibat cavity batten system, on 18mm IBS RigidRAP XT rigid air barrier / thermal barrier 3050x1196 sheets (with 'Z' flashing at mid floor) on Steelhaus 150mm Metal framing.

20mm Plywood flooring on EJ290x2.50 EZYJOIST @ 450crs. floor joists

Note:
M16 dia. S.S. bolts with 50x50x5 S.S. washers @ 900crs. max.

20mm x 90 x 170mm long H3.2 timber packers at each bolt fixing. Refer NASH Building Envelope Solutions Fig. 11 (a).

Note:
90x90 SG8 H3.2 verandah posts to sit on outside bearer fixed with 450x75x6mm S.S. plate with 4-M12 dia. s.s. bolts & 50x50x5mm s.s.washers.

Double 190x45 H3.2 tan. boundary joists fixed with S.S. Multigrip each side of deck joists.

190x45 H3.2 tan. deck joists @ 400crs.
S.S. CT160 each side.

Note:
2/290x45 SG8 H3.2 Deck Bearers continuous over 2 spans fixed to 135x135 H3.2 PROLAM post with 2-M12 dia. s.s. bolts & 50x50x5mm s.s.washers.

SECTION E-E

200x110x1 S.S. Nailon plate

2/290x45 SG8 H3.2 Deck Bearers continuous over 2 spans.

Fixed to 135x135 H3.2 PROLAM post with 2-M12 dia. s.s. bolts & 50x50x5mm s.s.washers.

190x45 H3.2 tan. deck joists @ 400crs. fixed to 190x45 H3.2 tan. deck stringer with s.s. joist hangers.

15 degree slope to inter storey flashing. Refer Fig. 65 of NASH Building Envelope Solutions.

12 min.

115

35

10

50

10

20

18

150

10

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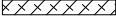
PROPOSED CAMERON RESIDENCE
AT LOT 2 SH26 HAMILTON.

A
REVISION: 14/2/22
DATE: Detail 3 amended. Eaves reference detail added.
REVISION NOTE:

SECTION E-E & DETAILS				
DRAWN	CHECKED	DATE	SCALE @ A3	JOB No.
D. Cowie	D. Cowie	3/12/21	1:50, 1:20	2107

DWG No.	11	A
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BLOCKWALL LEDGEND:

-  Retaining Wall 1
-  Retaining Wall 2
-  Retaining Wall 3

Retaining Wall 2:
Max. 1.6m retaining height.
5.0 KPa Surcharge.
190 Blockwork.
HD12-400 vert. & HD12-400 horiz.
1.2m x 0.3m footing.

Retaining Wall 3:
Max. 1.2m retaining height.
5.0 KPa Surcharge.
190 Blockwork.
HD12-400 vert. & HD12-400 horiz.
1.0m x 0.3m footing.

Retaining Wall 1:
Max. 2.4m retaining height. 5.0 KPa
Surcharge. 190 Blockwork.
HD16-200 vert. & HD12-400 horiz.
1.8m x 0.3m footing.

Retaining Wall 2:
Max. 1.6m retaining height.
5.0 KPa Surcharge.
190 Blockwork.
HD16-400 vert. &
HD12-400 horiz.
1.2m x 0.3m footing.

Note:
100mm dia. S.S. stack
pipe drain under slab.




Note:
100mm dia. S.S. stack
pipe drain under slab.

Note:
Load bearing points for 2600 high x 8000
wide stacker S/D at upper F.L. with steel
posts and beam by Steelhaus.

Note:
400x500x250mm high plinth on top of foundation
beams for boxed columns. Refer detail 16 sht. 17.

Note:
400x400 garage columns
footings.
Refer detail 13A sht. 17.

PILE LEGEND:

- *  200 SED HDT Pile, 5m min. embedment, pre-drilled 3.5m.
-  200 SED HDT Pile, 3.6m embedment, pre-drilled 2.5m.
-  250 SED HDT Pile, 3.6m embedment, pre-drilled 2.5m.

Note:
All piles to be High Density Piles.
All Footing beams are 400W x 400D
All Retaining wall footings are 300 deep.
Refer to notes on sheet 15.

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PROPOSED CAMERON RESIDENCE
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BASEMENT / FOUNDATION PLAN

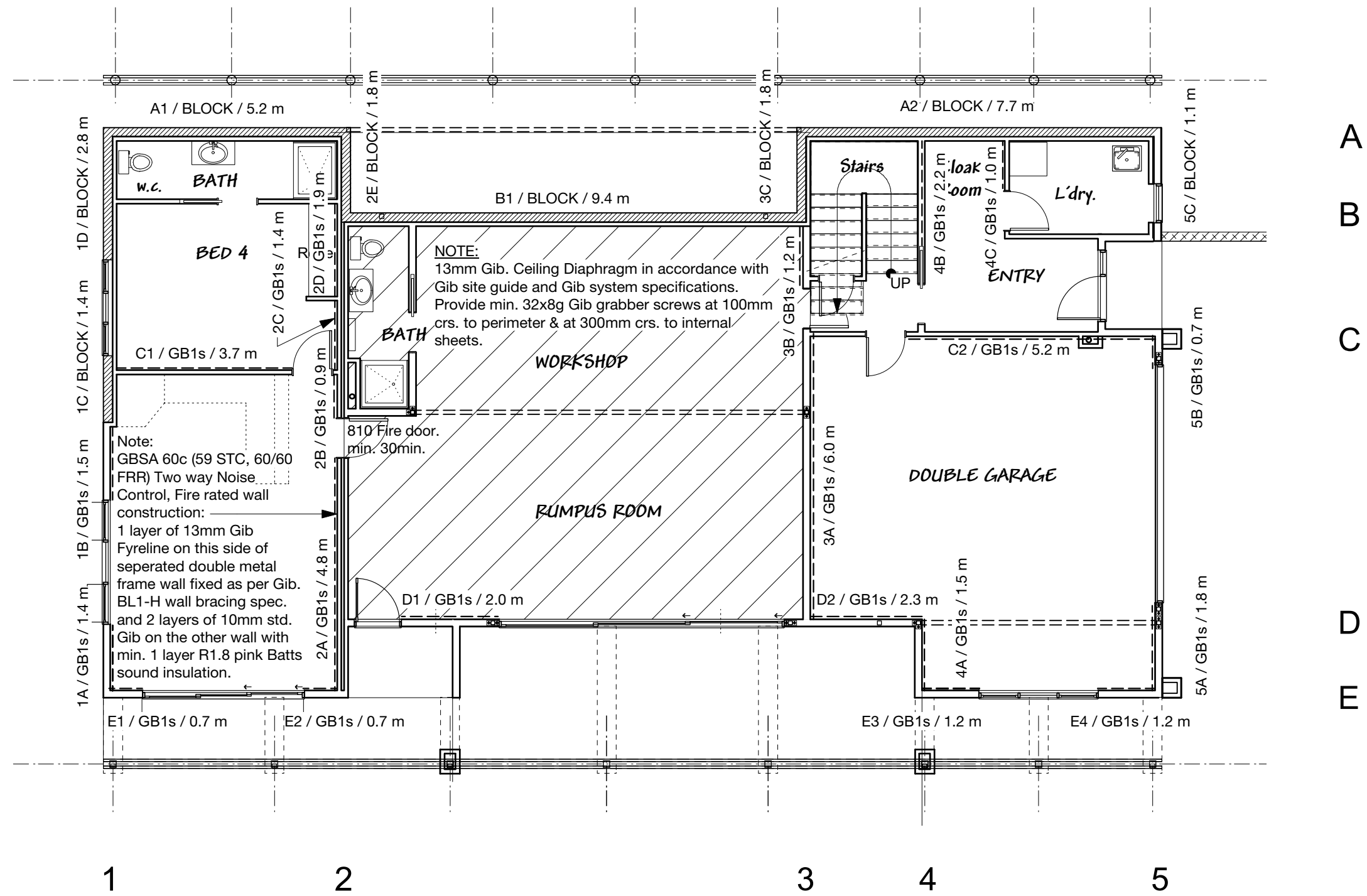
A 17/2/22 Column reference details added.
REVISION: DATE: REVISION NOTE:

BASEMENT / FOUNDATION PLAN				
DRAWN	CHECKED	DATE	SCALE @ A3	JOB No.
D. Cowie	D. Cowie	3/12/21	1:100	2107

DWG No. **13**
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ELEVATION KEY

Construction Set

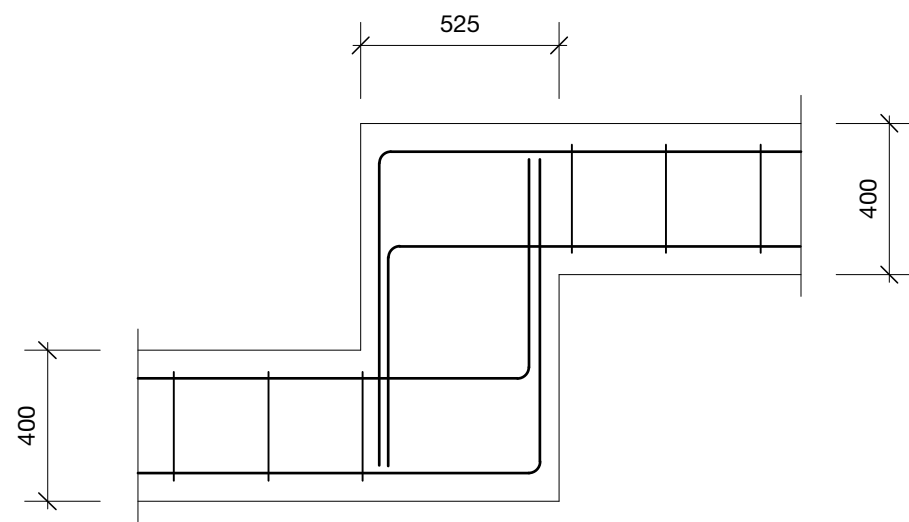


Note:
Refer to Gib Ezy Brace literature for full system installation details.

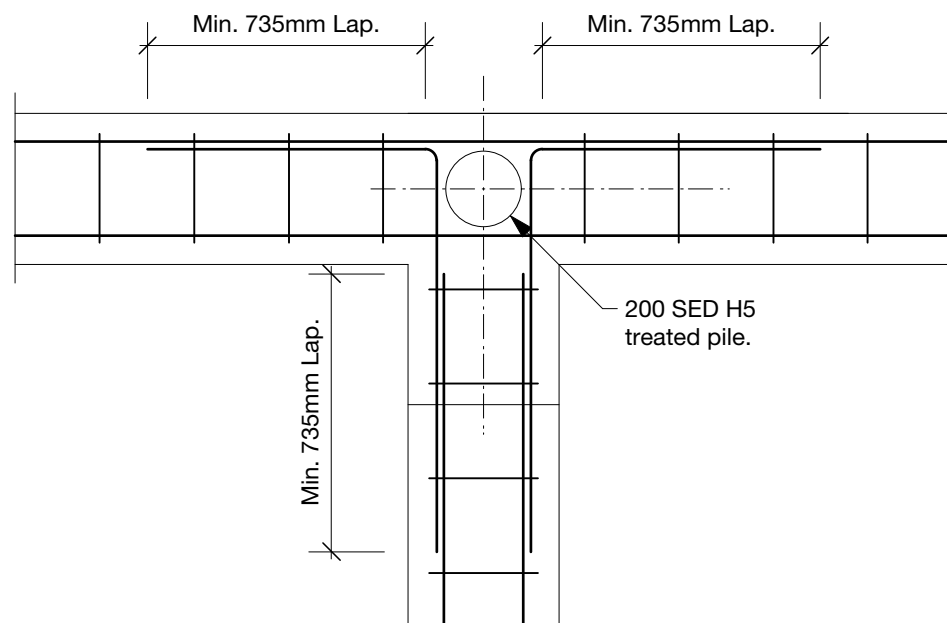
BASEMENT WALL BRACING PLAN

BASEMENT WALL BRACING LEGEND:

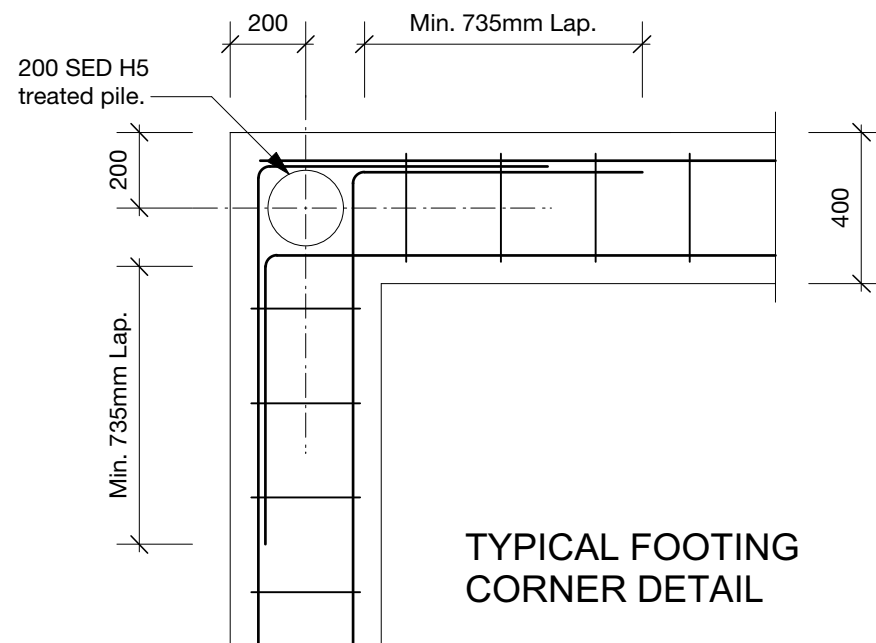
Brace Type	Lining requirement	Bottom plate fixing
GB1s	Min 10mm Gib Braceline on one side.	Gib EzyBrace end brace hold down washer as per NASH Gib System Specifications
BLOCK	190 series concrete blockwall.	N/A



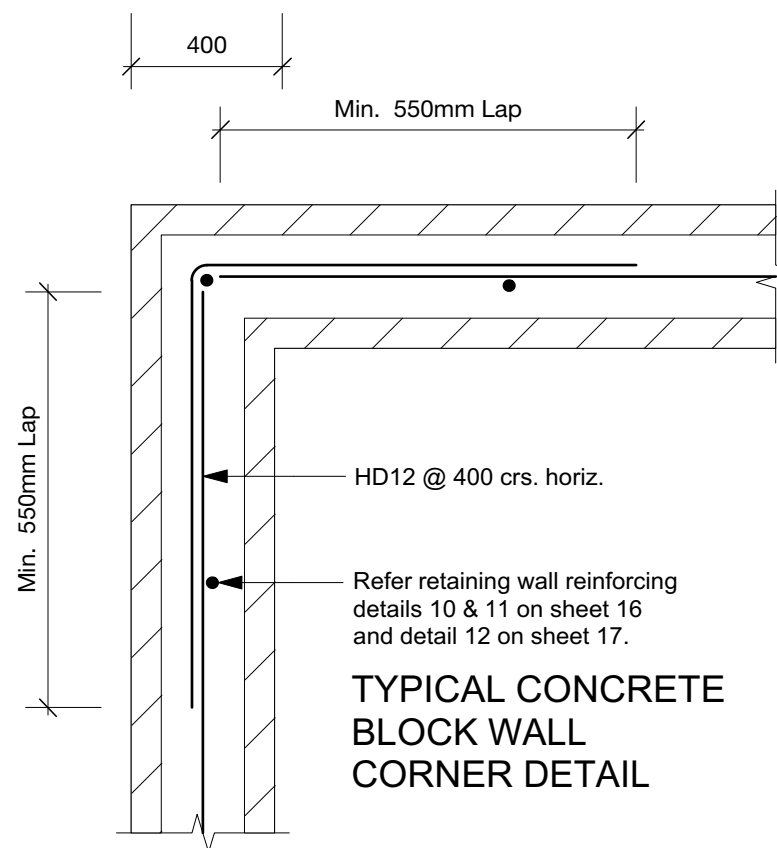
FOOTING STEP ELEVATION



TYPICAL FOOTING INTERSECTION DETAIL



TYPICAL FOOTING CORNER DETAIL



TYPICAL CONCRETE BLOCK WALL CORNER DETAIL

CONCRETE NOTES

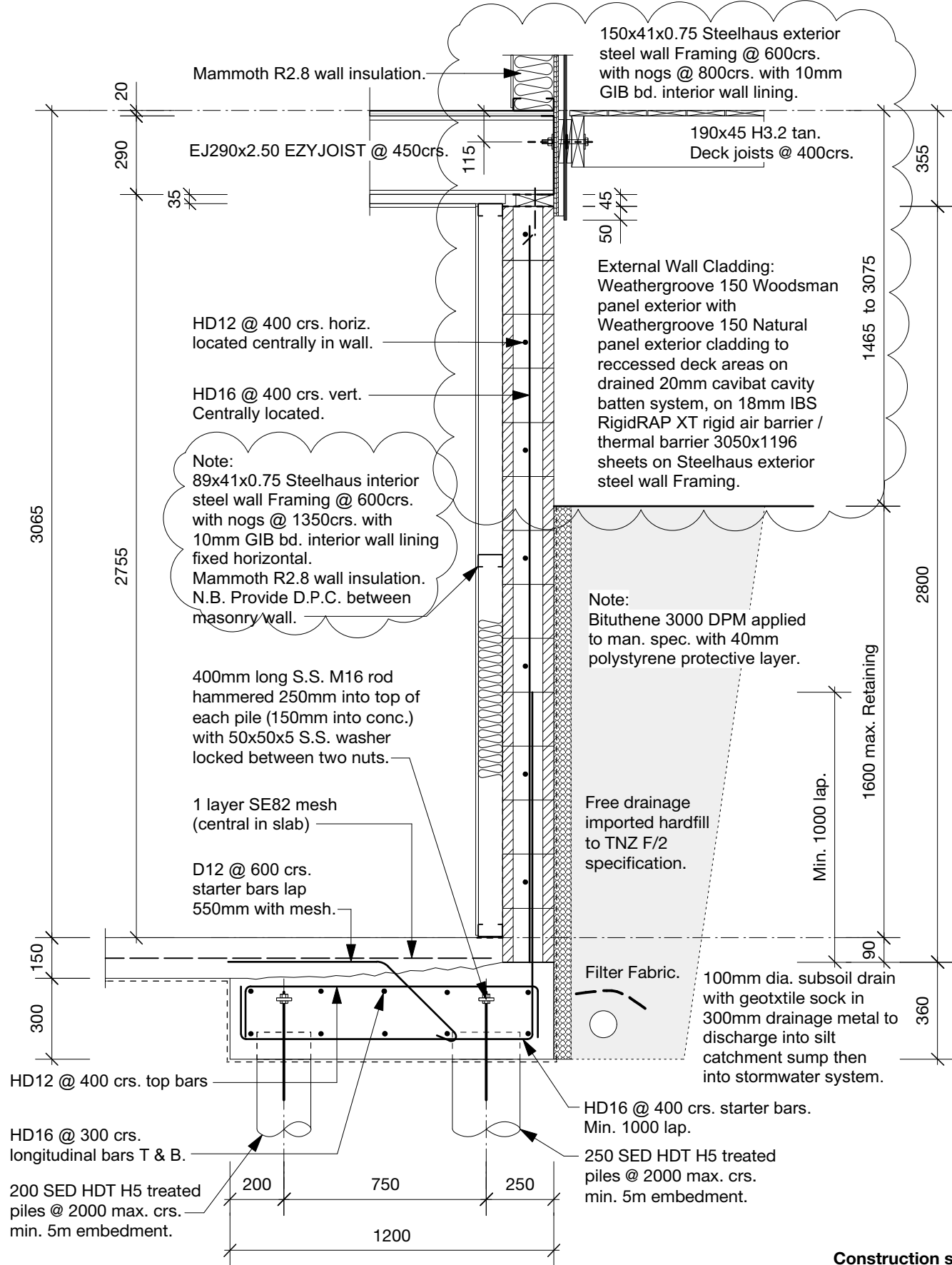
- 1 CONCRETE TO BE 20MPa
- 2 ALL STEEL INCLUDING MESH SHALL BE DUCTILITY CLASS E IN ACCORDANCE WITH NZS 4671
- 3 BAR REINFORCEMENT SHALL BE GRADE 500 UNO.
- 4 LAP MESH 225mm MINIMUM OR GREATER IF MANUFACTURER RECOMMENDS.
- 5 CONCRETE PLACING, FINISHING & CURING SHALL BE IN ACCORDANCE WITH NZS3109:1997.
- 6 CURING OF THE CONCRETE MUST TAKE PLACE IMMEDIATELY AFTER FINISHING THE CONCRETE BY PONDING OR CONTINUOUSLY SPRINKLING OF WATER.
- 7 SHRINKAGE CONTROL JOINTS: GENERALLY SAW CUTS ARE TO COINCIDE WITH MAJOR CHANGES IN PLAN. WHERE THE CONCRETE IS TO BE EXPOSED OR BRITTLE COVERING PLACED OVER, SPACED AT 6m CENTRES MAXIMUM TO CREATE BAYS WITH LENGTH: WIDTH RATIO OF 2:1.
- 8 SHRINKAGE CONTROL JOINTS SHALL BE FORMED BY SAW CUTTING 25mm DEEP AFTER CONCRETE HARDENING AND NO LATER THEN 24 HOURS.
- 9 PLUMBING & SERVICES SHALL BE CONVEYED UNDERGROUND TO THEIR PLAN LOCATION AND THEN BROUGHT UP THROUGH THE SYSTEM. AT NO STAGE SHALL ANY OF THE REINFORCEMENT BARS BE RELOCATED OR CUT TO ALLOW FOR THE SERVICES. SERVICES ARE TO BE PLACED CENTRALLY WITHIN AN OPENING 50mm GREATER IN DIAMETER THAN THE PIPE. HORIZONTAL PENETRATIONS THROUGH BEAMS SHALL BE LOCATED IN THE CENTRAL THIRD. ALL PIPES SHALL BE WRAPPED IN DENSO TAPE AND THE GAP SEALED WITH COMPRESSIVE FOAM.
- 10 PROVIDE MIN. 75MM COVER TO FOOTING REINFORCEMENT.

PILE NOTES

- 1 ALL PILES TO BE PLACED SMALL END DOWN AND DRIVEN TO THE FOLLOWING CRITERIA;
200 SED PILES:
HAMMER WEIGHT = 500kg
DROP = 1.0m
SET = 15mm / BLOW
250 SED PILES:
HAMMER WEIGHT = 500kg
DROP = 1.0m
SET = 10mm / BLOW
- 2 MINIMUM PILE EMBEDMENT DEPTH TO BE 5m min. for leading edge piles.
- 3 PRE-DRILL HOLES 2.5m. CARE IS TO BE TAKEN WHEN DRIVING PILES IN TERMS OF VIBRATION EFFECTS ON ADJACENT STRUCTURES & SERVICES
- 4 ENGINEER TO OBSERVE THREE TEST PILES AT OPPOSITE ENDS OF THE SITE
- 5 DRAWINGS TO BE READ IN CONJUNCTION WITH TITUS CONSULTING ENGINEERING ASSESSMENT AND DESIGN REPORT 11122 DATED 19 JUNE 2020
- 6 CUT TOP SURFACES ON PILES TO BE TREATED WITH TWO COATS OF METALEX
- 7 ALL PILES TO BE HIGH DENSITY PILES
- 8 ALL PILES TO BE TREATMENT CLASS H5
9. BACKFILL HOLES AROUND LEADING EDGE PILES WITH LOOSE SAND OR CONCRETE TO ENSURE NO VOIDS ARE PRESENT.

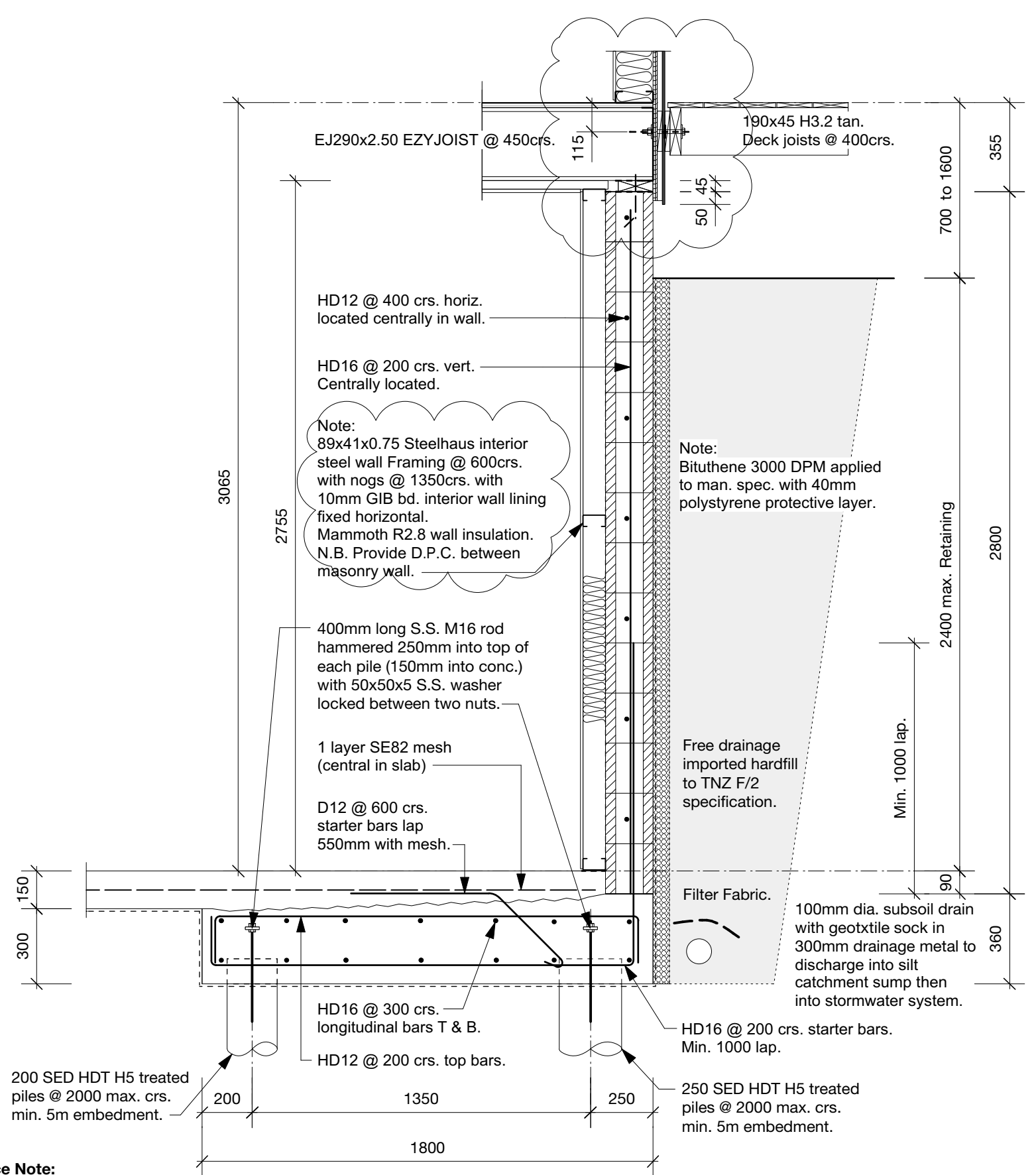
MASONRY NOTES

- 1 ALL MASONRY WALL SHALL BE LAID STRETCHER (RUNNING) BOND
- 2 ALL MASONRY GROUT TO BE 20MPa MIN. STRENGTH AFTER 28 DAYS
- 3 ALL GROUTING SHALL BE CARRIED OUT USING THE HIGH LIFT GROUTING METHOD
- 4 ALL MASONRY UNITS SHALL BE SOLID FILLED WITH GROUT
- 5 ALL WALL ENDS TO BE TRIMMED WITH HD12 BAR (U.N.O.) ALL WALLS TO HAVE HD12 BOND BEAM AT TOP UNO
- 6 PROVIDE CONTROL JOINTS: - MAXIMUM 5.0m CENTRES OR ONE SIDE OF DOOR OPENINGS
- 7 CONTROL JOINTS ARE NOT REQUIRED IN RETAINING WALLS (U.N.O.)
- 8 ALL HORIZONTAL AND VERTICAL WALL REINFORCEMENT TO HAVE 200mm HOOK RETURN ENDS



Construction sequence Note:

Retaining wall foundations are to be poured first followed by laying of the bottom course of conc. blocks, then the remainder of the Basement foundations can be boxed and poured with the concrete slab.



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Sht. 13

BASEMENT RETAINING
WALL 2 DETAIL

PROPOSED CAMERON RESIDENCE
AT LOT 2 SH26 HAMILTON.

11

Sht. 7-9,13

BASEMENT RETAINING
WALL 1 DETAIL

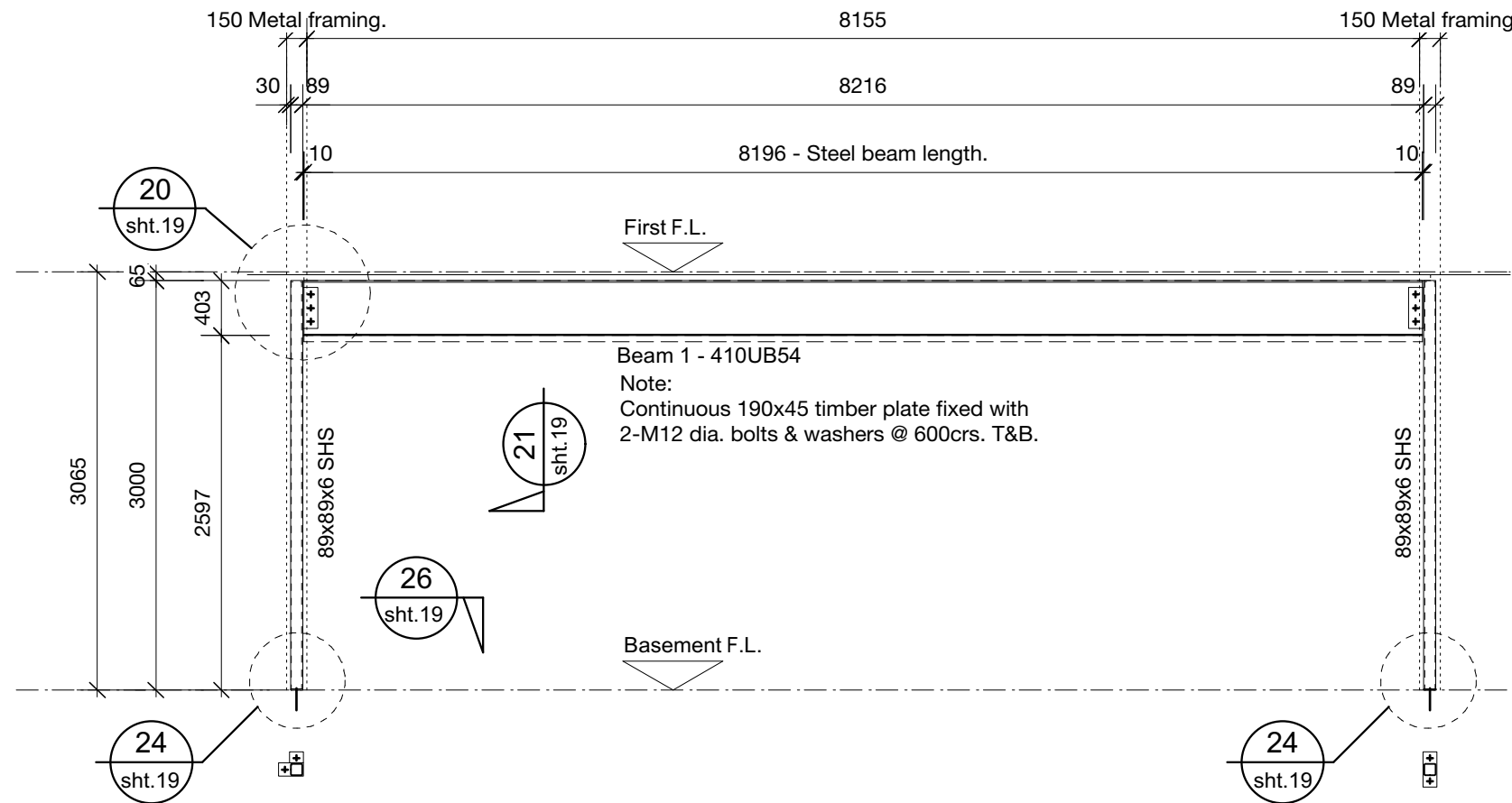
A 17/2/22 Steel framing and wall cladding shown.
 REVISION: DATE: REVISION NOTE:

FOUNDATION DETAILS CONTINUED

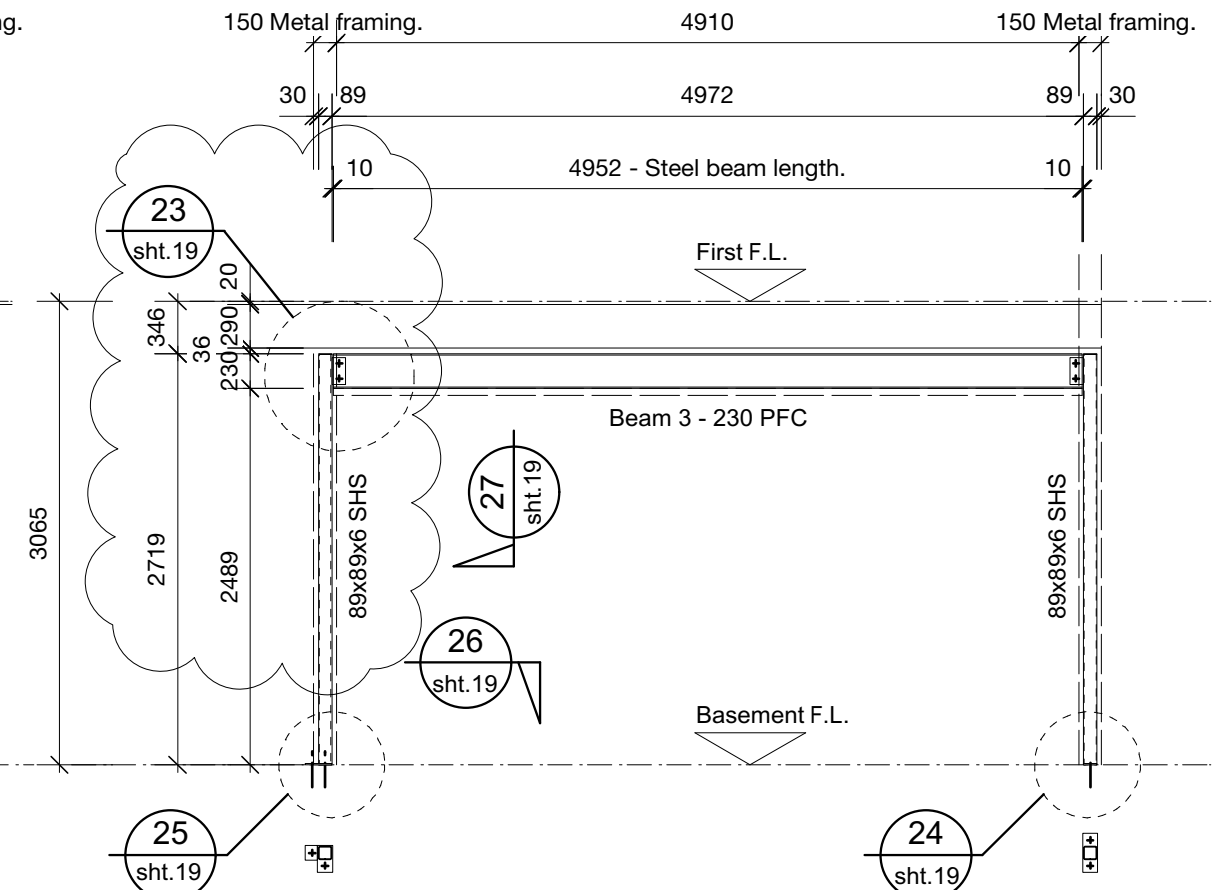
DRAWN	CHECKED	DATE	SCALE @ A3	JOB No.
D. Cowie	D. Cowie	3/12/21	1:20	2107

Construction Set

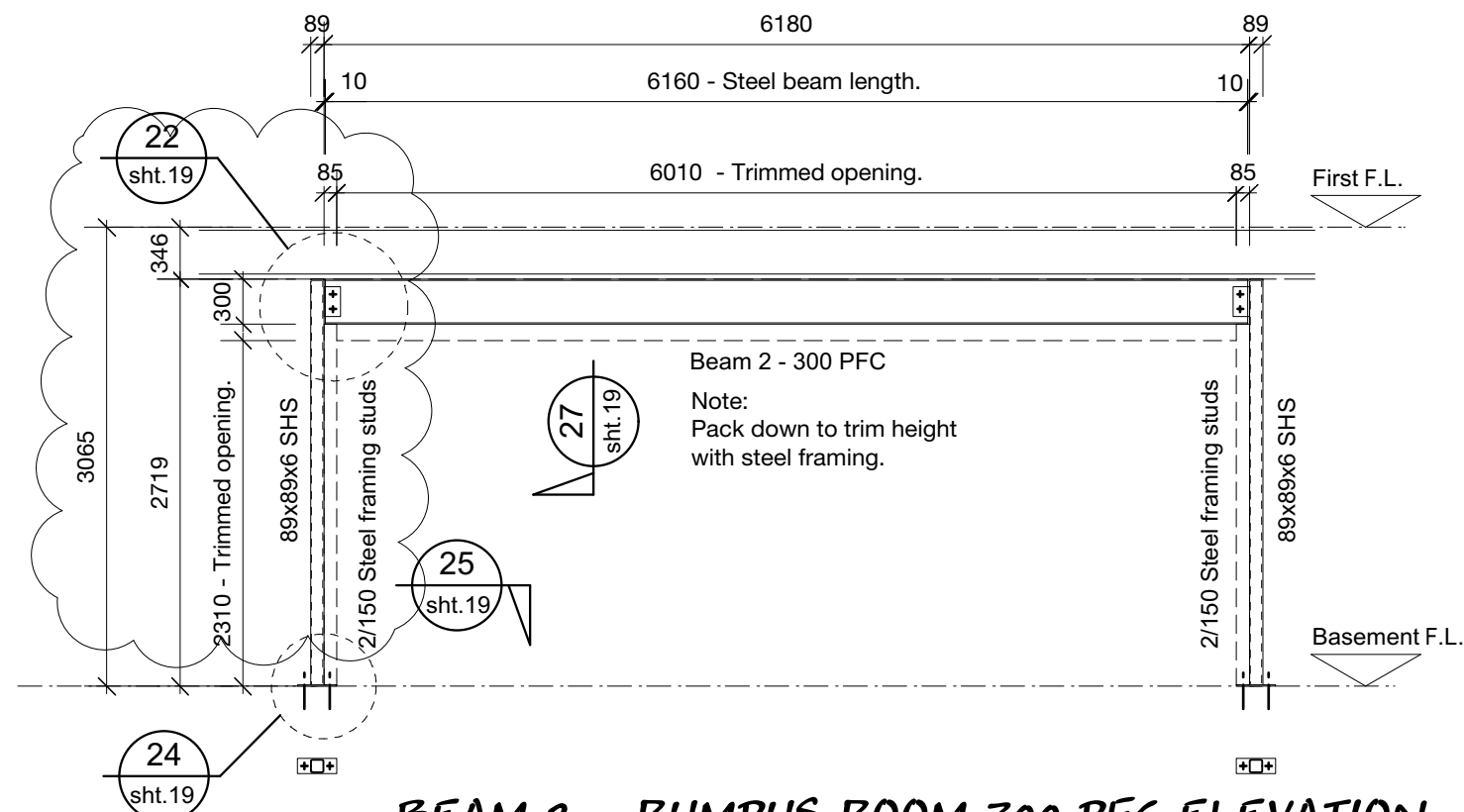
DWG No. **16**
 A REV
 OF 22



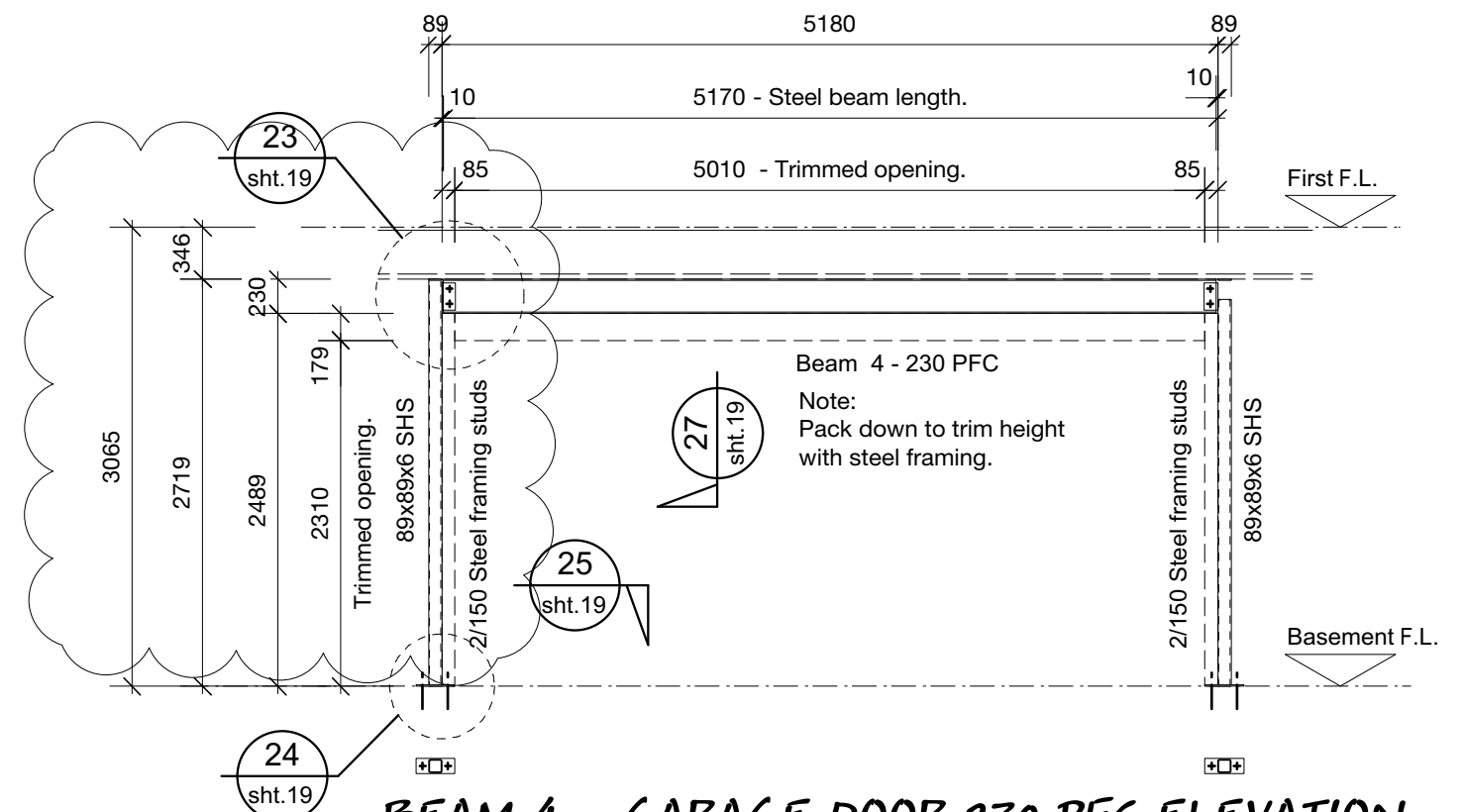
BEAM 1 - WORKSHOP 410UB54 ELEVATION



BEAM 3 - GARAGE 230 PFC ELEVATION



BEAM 2 - RUMPUS ROOM 300 PFC ELEVATION



BEAM 4 - GARAGE DOOR 230 PFC ELEVATION

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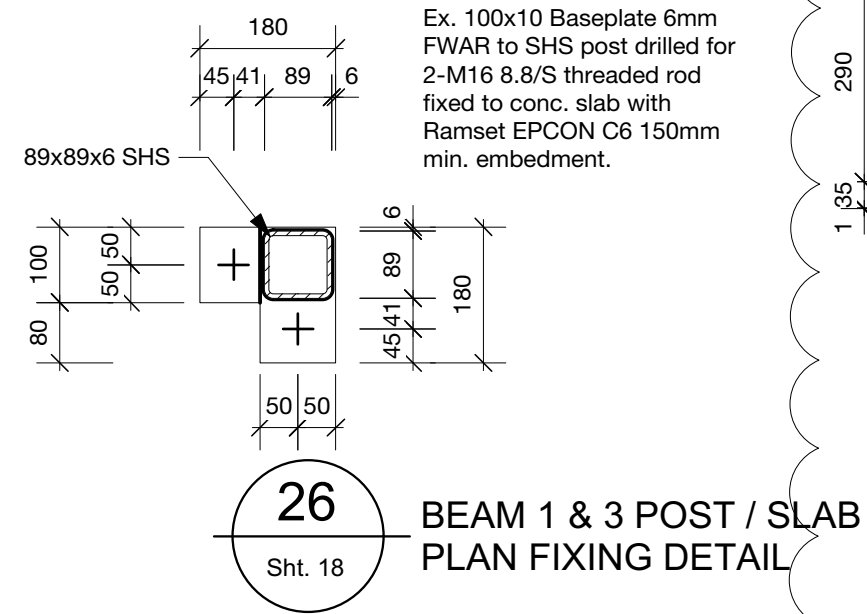
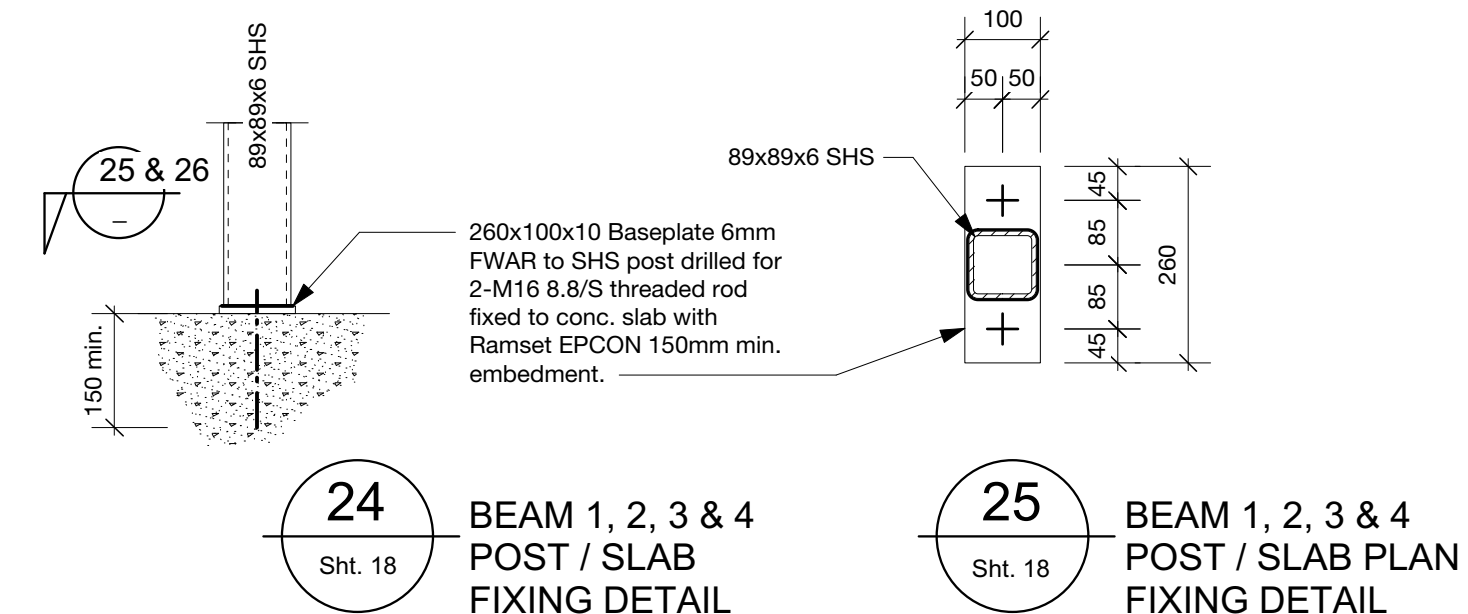
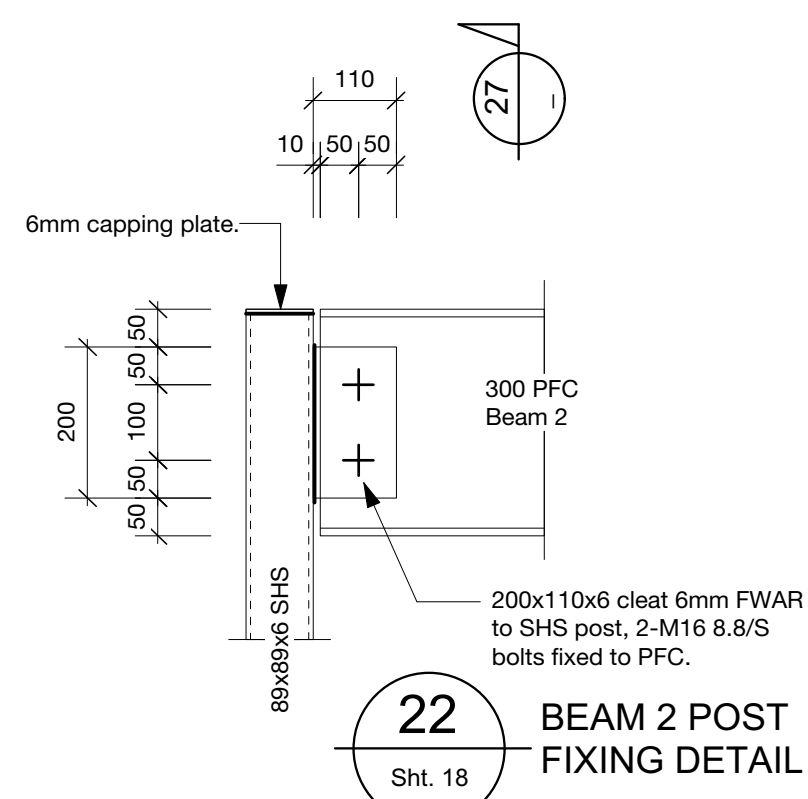
PROPOSED CAMERON RESIDENCE
AT LOT 2 SH26 HAMILTON.

A 17/2/22 Steel frame heights amended to suit steel framing.
 REVISION: DATE: REVISION NOTE:

BASEMENT STEEL BEAM ELEVATIONS				
DRAWN	CHECKED	DATE	SCALE @ A3	JOB No.
D. Cowie	D. Cowie	3/12/21	1:50	2107

Construction Set

DWG No. **18**
 A REV
 OF 22



1. All internal steelwork to be shop primed and painted with Resene 22 interior paint specification.
2. Allow for holes for M12 - 600crs. bolts into beam 1 as required shown for fixing to timber framing.
3. Fasten any HySpan members together with 2 rows of 90x3.3 dia. nails @ 100mm crs. as per figure 9 of the Futurebuild LVL Residential Design Guide.

PROPOSED CAMERON RESIDENCE
AT LOT 2 SH26 HAMILTON.

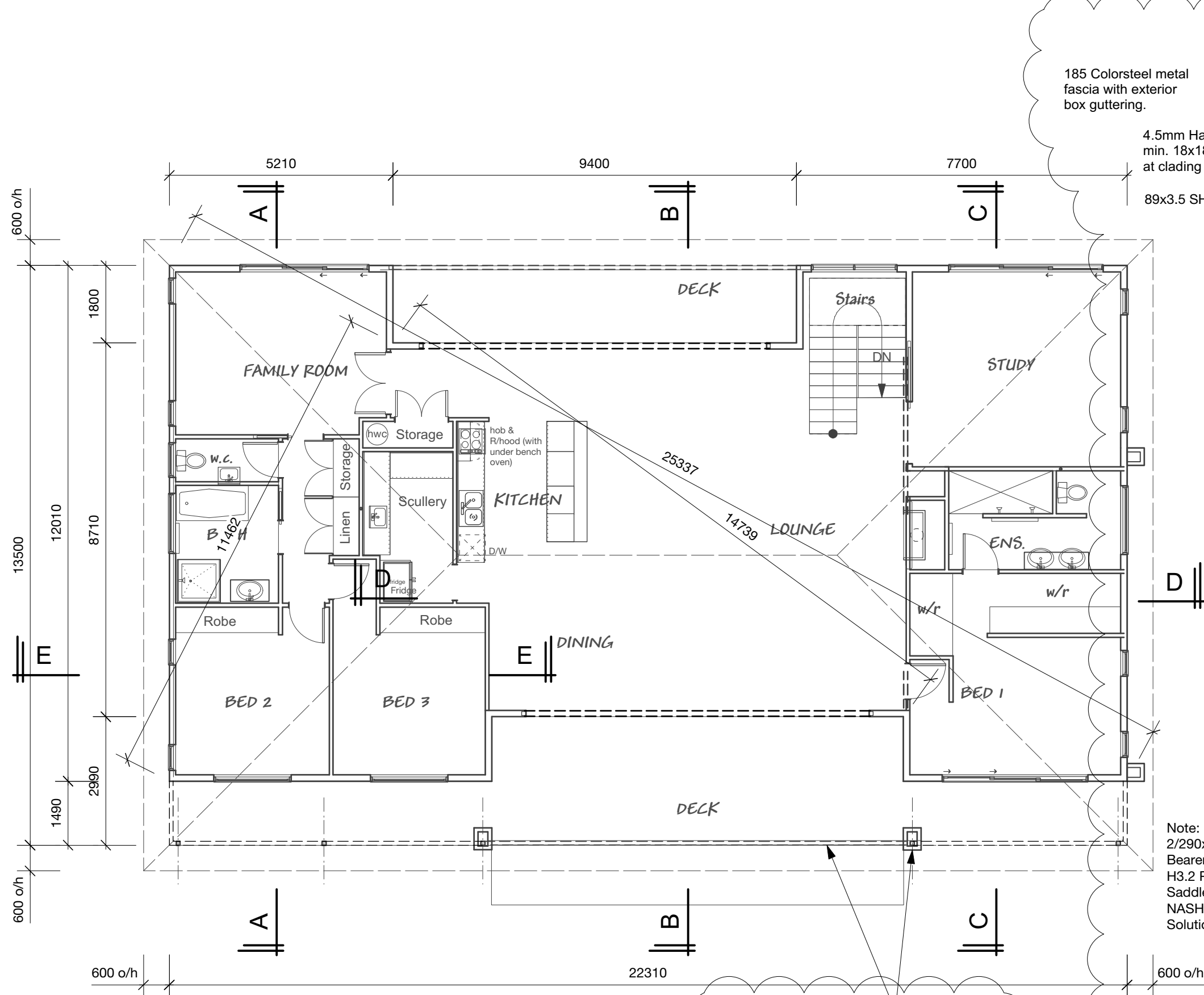
A	172/22	Steel frame heights amended to suit steel framing.
REVISION:	DATE:	REVISION NOTE:

Construction Set

REVISION:	DATE:	REVISION NOTE:			DWG No.
<h1 style="text-align: center;">BASEMENT STEELWORK DETAILS</h1>					<div style="font-size: 2em; font-weight: bold;">19</div> <div style="text-align: right;">A</div>
DRAWN	CHECKED	DATE	SCALE @ A3	JOB No.	
D Cowie	D Cowie	3/12/21	1:10	2107	OF 22

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Deck Construction Note:
Veranda posts / beams and deck columns /
bearers to be temporary braced to enable the
fixing of the roof structure and wall cladding prior
to fixing of the deck stringers, joists and decking.

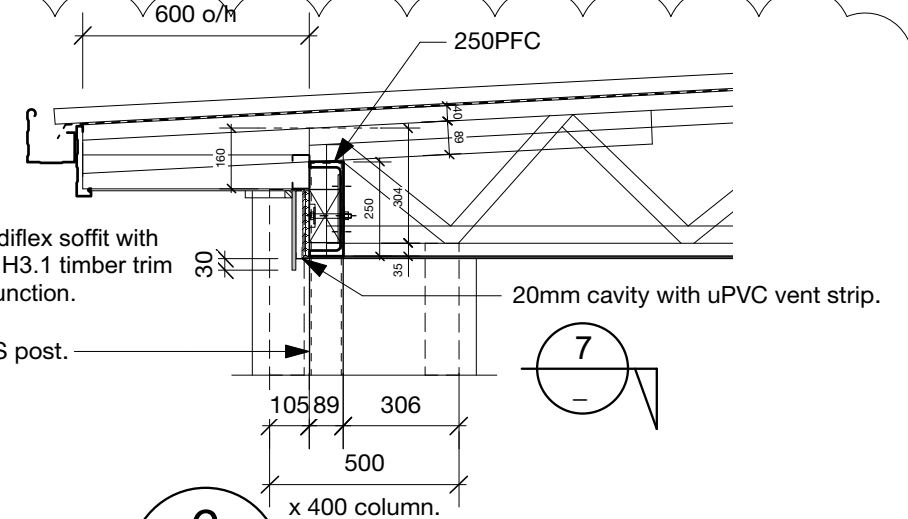
FIRST FLOOR FRAMING / ROOF SET-OUT PLAN

PROPOSED CAMERON RESIDENCE
AT LOT 2 SH26 HAMILTON.

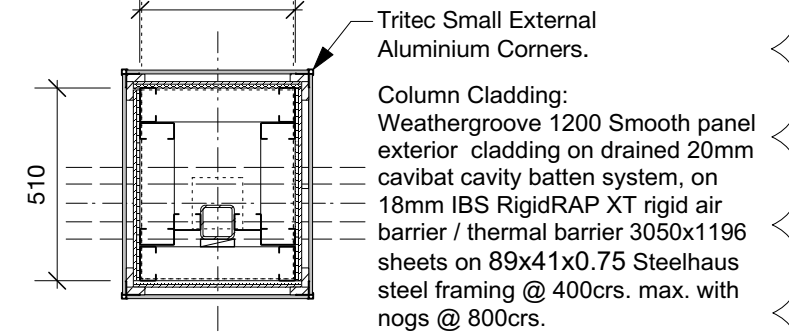
185 Colorsteel metal
fascia with exterior
box guttering.

4.5mm Hardiflex soffit with
min. 18x18 H3.1 timber trim
at cladding junction.

89x3.5 SHS post.

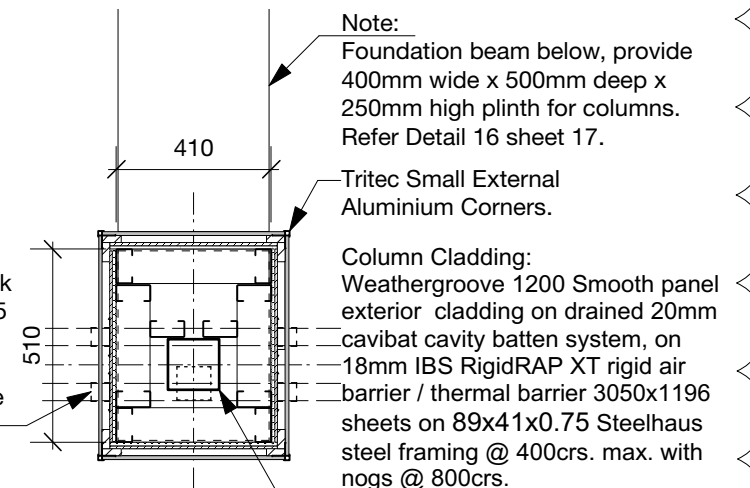


CENTRE VERANDAH EAVES / COLUMN DETAIL



Note:
89x3.5 SHS post supporting
250PFC beam above fixed to steel
column encasement.

FIRST FLOOR COLUMN DETAIL



Note:
135x135 H3.2 Prolam post fixed to
steel column encasement.

BASEMENT COLUMN DETAIL

A 17/2/22 Column details 6,7 & 8 added. Deck construction note added.
REVISION: DATE: REVISION NOTE:

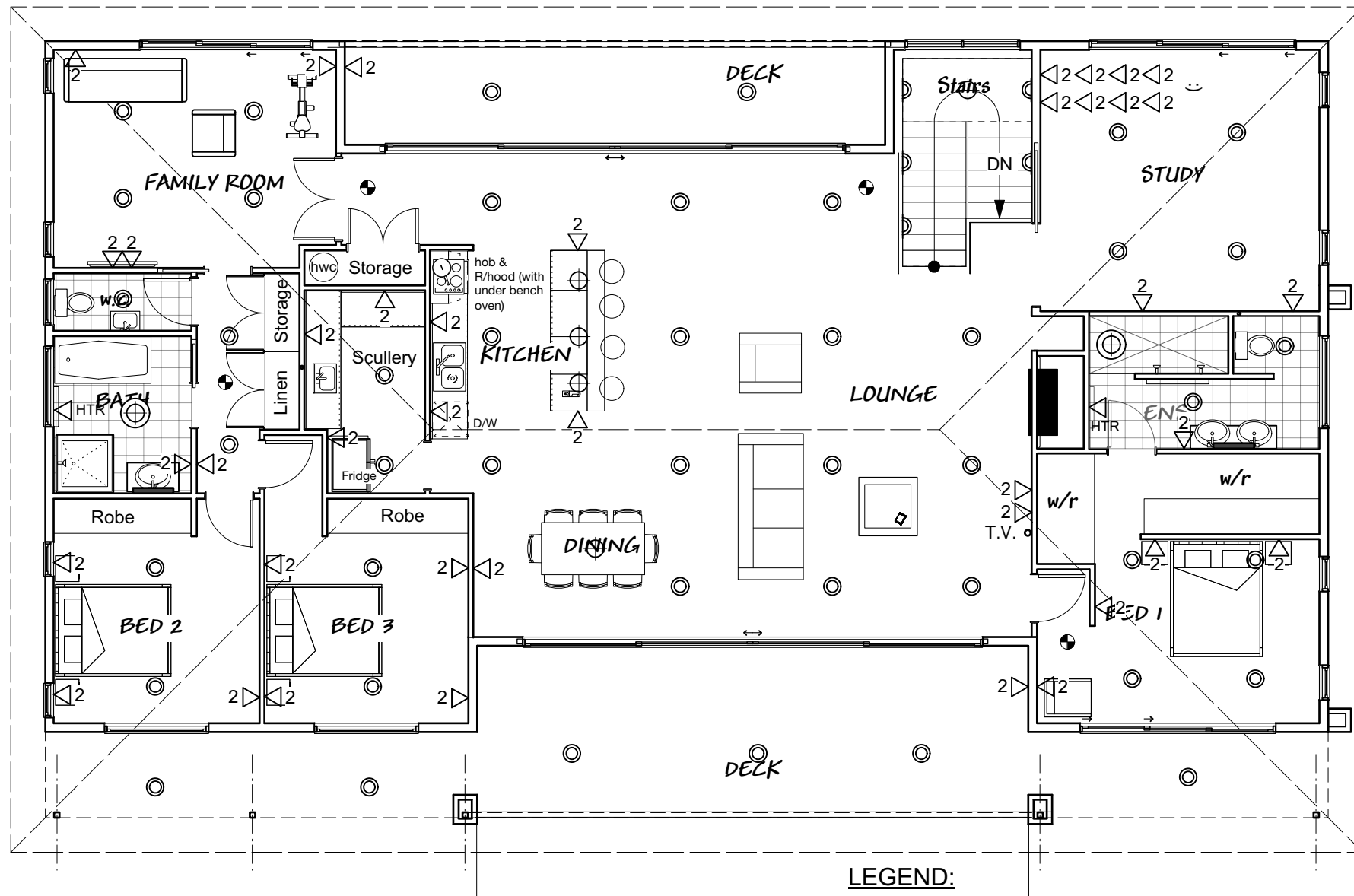
FIRST FLOOR FRAMING / ROOF SET-OUT PLAN

DRAWN	CHECKED	DATE	SCALE @ A3	JOB No.
D. Cowie	D. Cowie	3/12/21	1:100	2107

DWG No.
20
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Note:
All outlets to be protected by surge device at switch board.
Seperate switching is not shown for:
Hot water cylinder, Kitchen fittings (cook top, wall oven, dishwasher & microwave. Allow to wire for and install.

Note:
180 l electric mains pressure hot water cylinder to be fitted as per Acceptable Solutions G12/AS1 fig. 8 with tempering valve as per fig. 16 and seismic restraint to fig. 14 with 40mm dia. min. drain pipe outlet and overflow tray to comply with G12/AS1 6.11.3 & 5.2.3.

Note:
Extractor fan to Ensuite and Bathroom and Kitchen range hood to be vented to underside of eaves.
N.B. Flow rates not less than 25 L/sec. for Bathrooms and 50 L/sec. for Kitchen Range hood as per G4/AS1 1.3.3

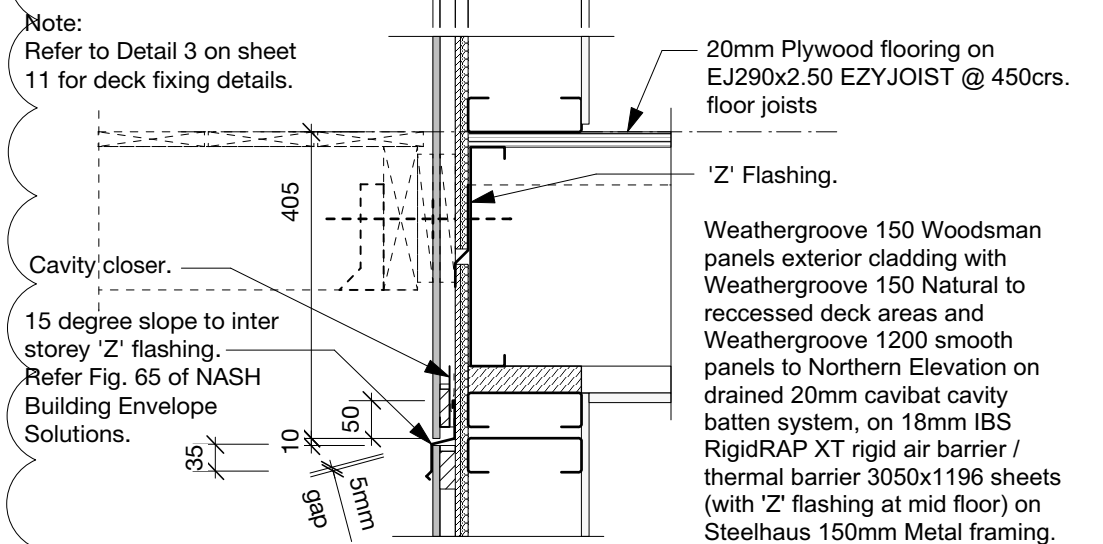
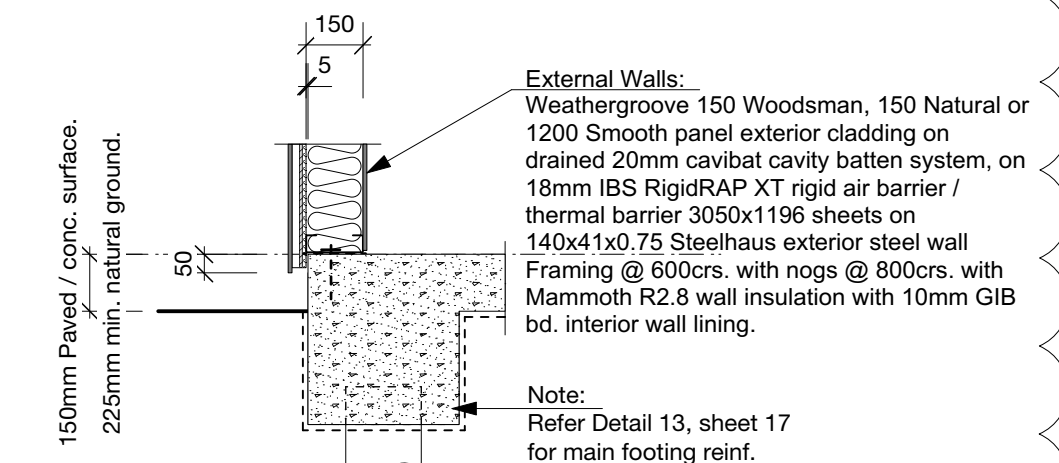
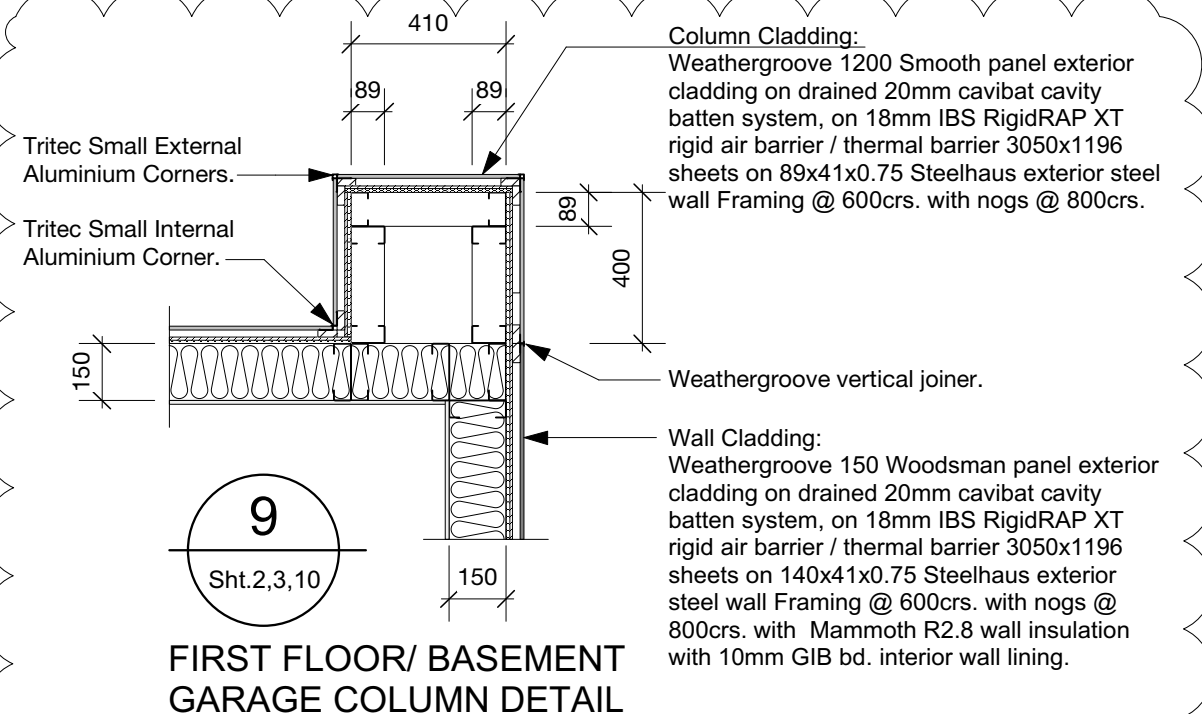
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FIRST FLOOR ELECTRICAL PLAN

PROPOSED CAMERON RESIDENCE
AT LOT 2 SH26 HAMILTON.

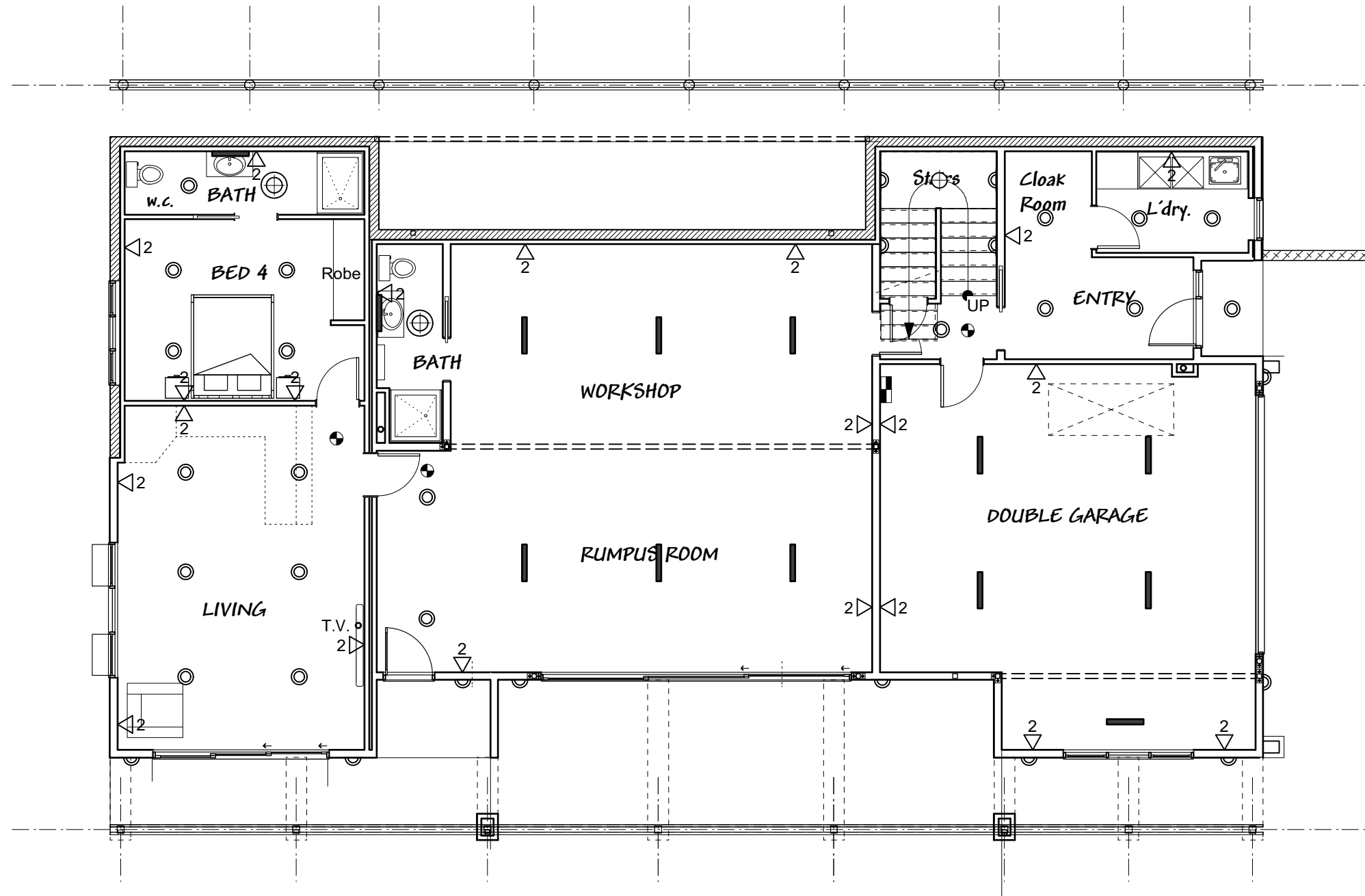


INTER-STOREY CLADDING JUNCTION DETAIL

REVISION: A 17/2/22 180L HWC note added and Garage, column & cladding details added. Gas Infinity unit note removed.

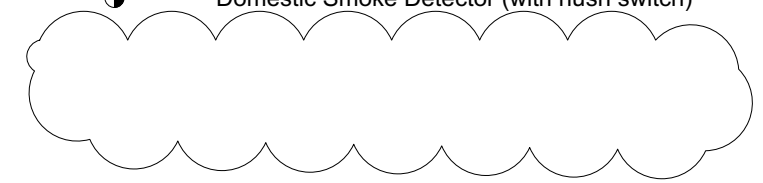
FIRST FLOOR ELECTRICAL PLAN				
DRAWN	CHECKED	DATE	SCALE @ A3	JOB No.
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DWG No. **21**
REV A
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LEGEND:

- Light batten fitting
- Single LED wall light
- Single LED downlight with IC or IC-F rating.
- Exterior Flood light with sensor
- LED Strip light
- Double Power Point
- Heated Towel Rail
- T/ph Telephone
- T.V. Television
- Extractor fan with light (Vented to underside of eaves)
- Meter Board
- Switch Board
- Domestic Smoke Detector (with hush switch)



BASEMENT ELECTRICAL PLAN

PROPOSED CAMERON RESIDENCE
AT LOT 2 SH26 HAMILTON.

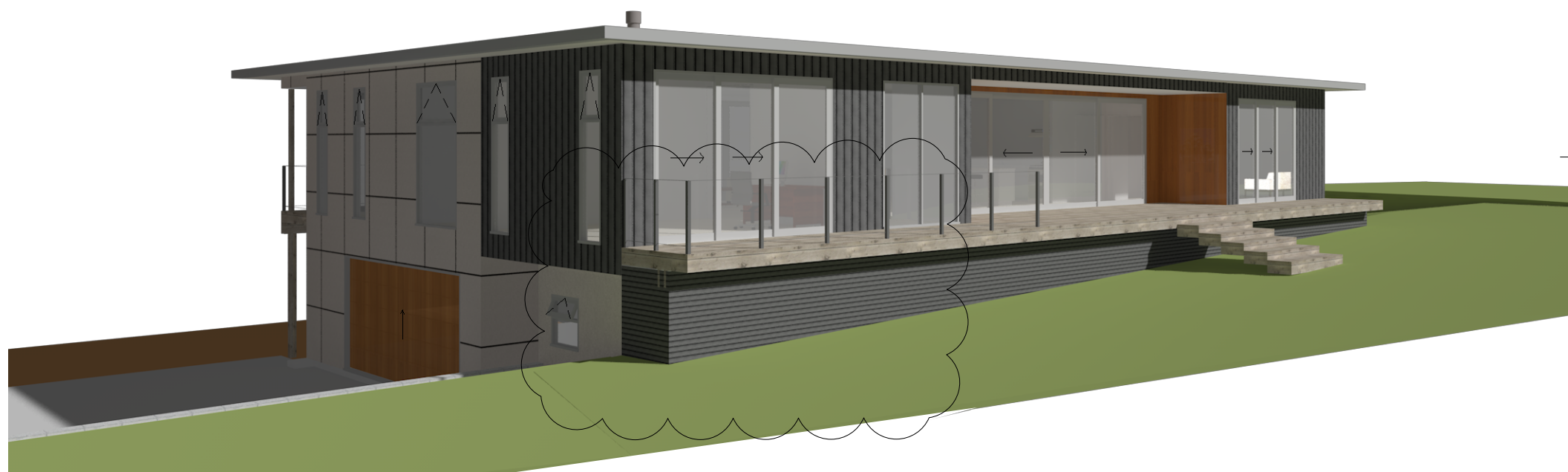
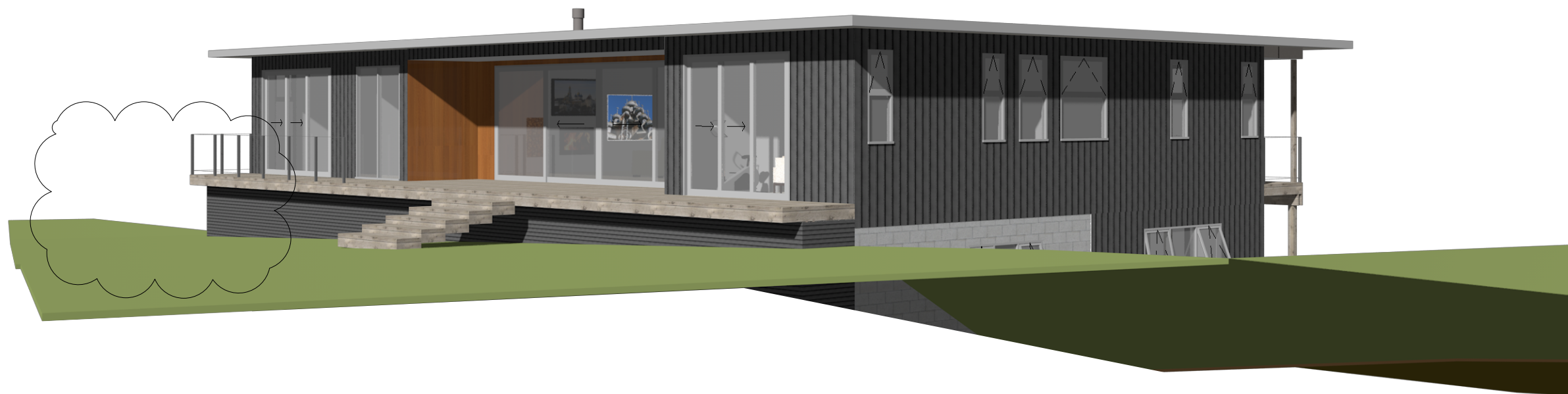
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REVISION: 17/2/22 as Infinity unit note removed from Legend.
DATE: REVISION NOTE:

BASEMENT ELECTRICAL PLAN				
DRAWN	CHECKED	DATE	SCALE @ A3	JOB No.
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Construction Set

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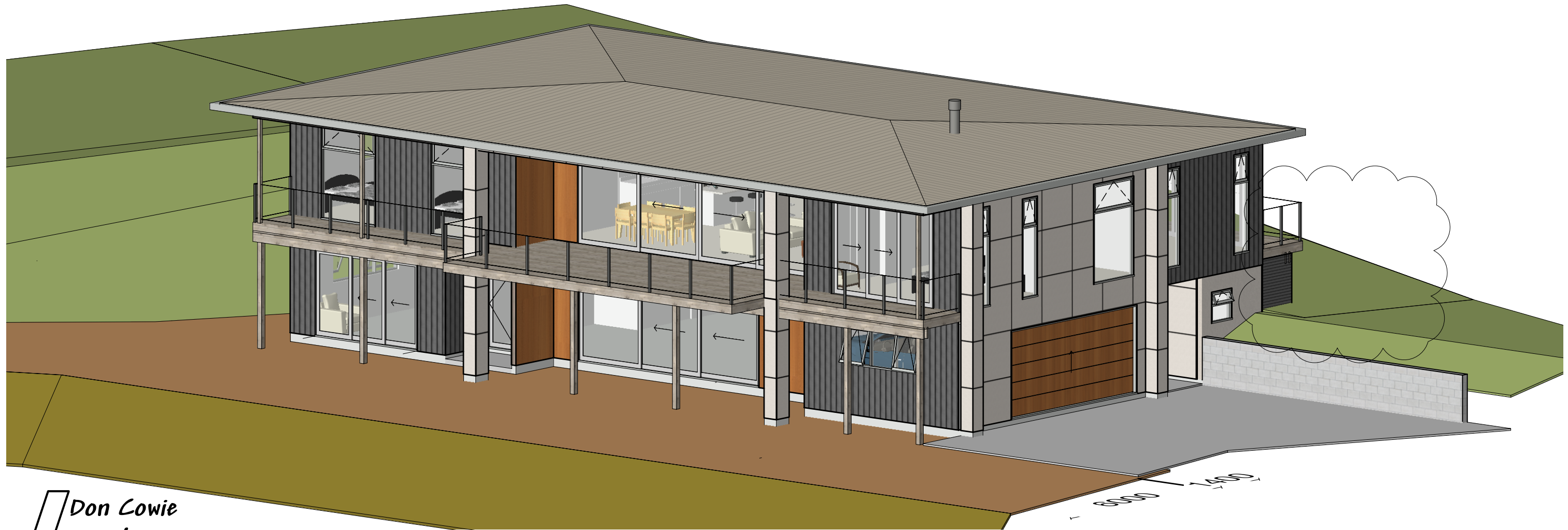
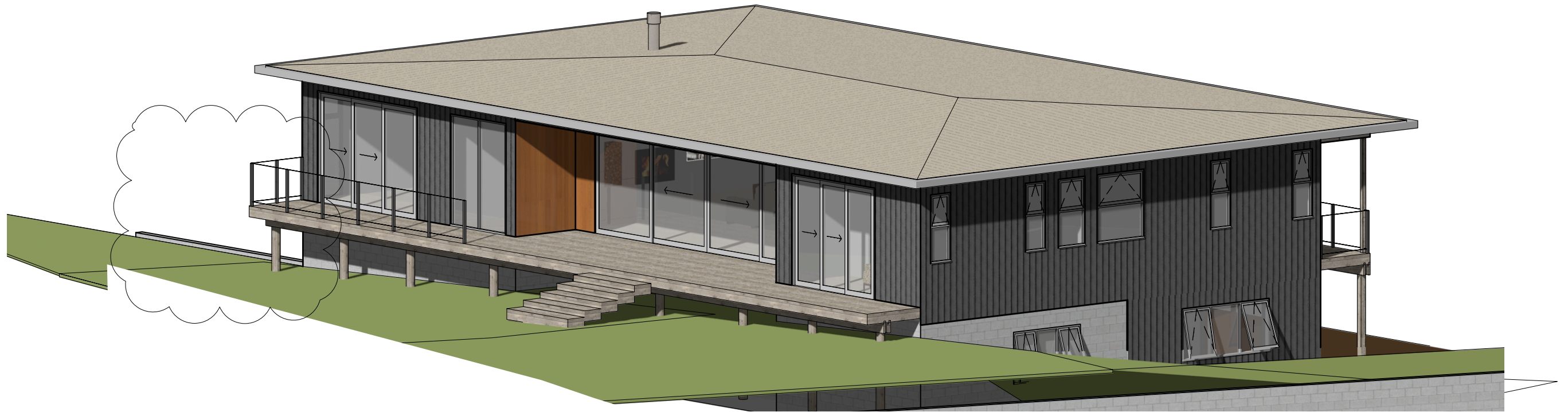
PROPOSED CAMERON RESIDENCE
AT LOT 2 SH26 HAMILTON.

A
 REVISION: 17/2/22 DATE: Deck amended for resource consent application.
 REVISION NOTE:

Construction Set

PROPOSED RENDERS 1				
DRAWN	CHECKED	DATE	SCALE @ A3	JOB No.
D. Cowie	D. Cowie	Feb. 2022	NTS	2107

DWG No.	REV
R1	A
OF	22



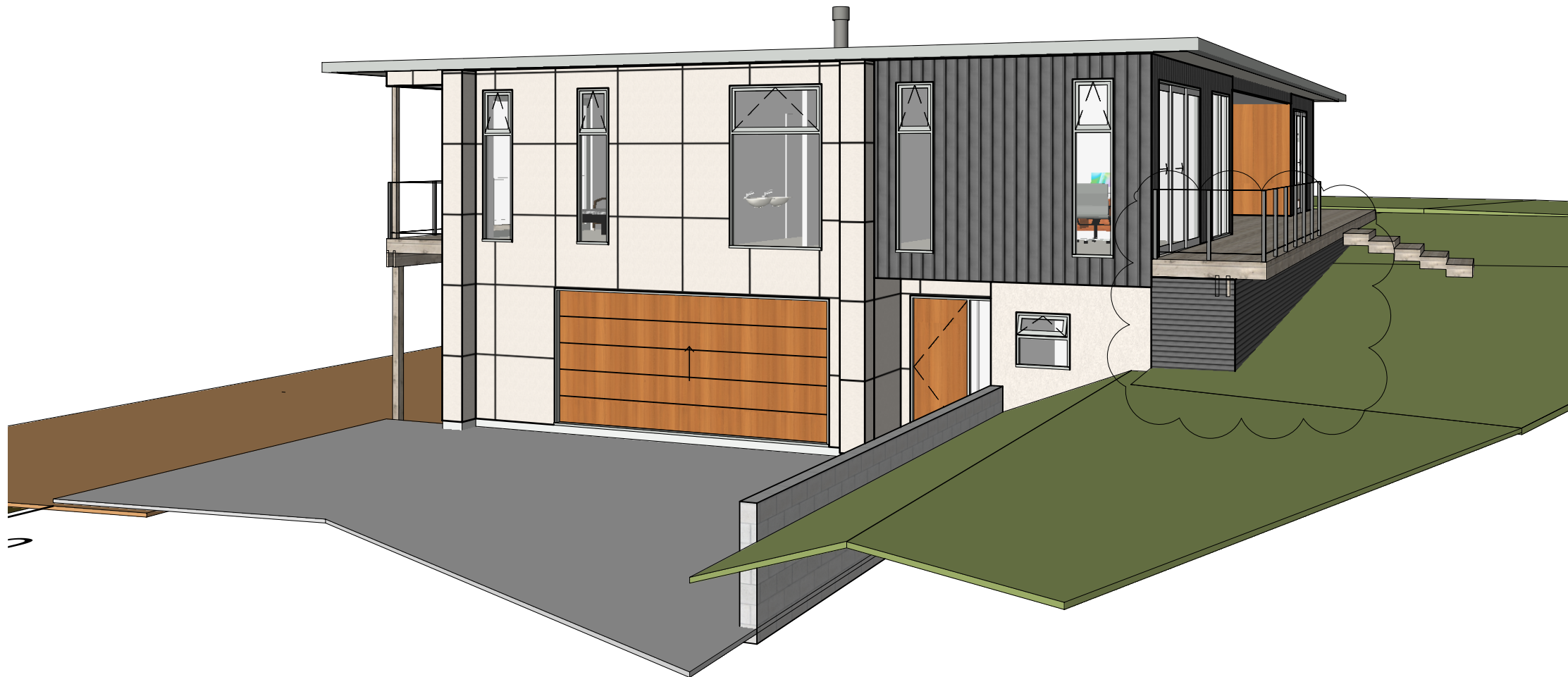
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PROPOSED CAMERON RESIDENCE
AT LOT 2 SH26 HAMILTON.

A 17/2/22 Deck amended for resource consent application.
 REVISION: DATE: REVISION NOTE:

Construction Set

PROPOSED RENDERS 2				
DRAWN	CHECKED	DATE	SCALE @ A3	JOB No.
D. Cowie	D. Cowie	Feb. 2022	NTS	2107
DWG No. R2 REV				OF 22



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PROPOSED CAMERON RESIDENCE
AT LOT 2 SH26 HAMILTON.

A
 REVISION: 17/2/22 DATE: Deck amended for resource consent application.
 REVISION NOTE:

Construction Set

PROPOSED RENDERS 3				
DRAWN	CHECKED	DATE	SCALE @ A3	JOB No.
D. Cowie	D. Cowie	Feb. 2022	NTS	2107

DWG No.	A
R3	REV
OF	22