

Proposed 100 mm dia. subsoil drain behind retaining walls.

Proposed 100 mm dia. stormwater line with min. 1:90 fall.

Proposed 100 mm dia. sewer line with min. 1:60 fall.

Proposed 50 mm dia. thick walled alkathene LDPE pressure pipe.

Sht. 1	Site Plan
Sht. 2	Proposed Floor Plan
Sht. 3	Proposed Basement Floor Plan
Sht. 4	Proposed Elevations 1 & 2
Sht. 5	Proposed Elevations 3 & 4
Sht. 6	Floor Plan Wall Bracing Plan
Sht. 7	Sections A-A
Sht. 8	Sections B-B
Sht. 9	Section C-C
Sht. 10	Section D-D
Sht. 11	Section E-E
Sht. 12	Mid Floor Framing Plan
Sht. 13	Basement Foundation / Pile Plan
Sht. 14	Basement Wall Bracing Plan
Sht. 15	Engineering Notes & Details
Sht. 16	Details Cont.
Sht. 17	Details Cont.
Sht. 18	Basement Steel Beam Elevations
Sht. 19	Basement Steel Beam Details
Sht. 20	Roof Framing Plan
Sht. 21	Floor Plan Electrical Plan
Sht. 22	Basement Electrical Plan
Sht. 23	Bank Steel Beam Elevations
R1	Render 1
R2	Render 2
R3	Render 2

BC Number - DD007.2021.00043914.002

*First Floor Ensuite  
Drainage Isometric.*

**Sanitary Sewer Note:**  
Sewer lines to discharge into  
Engineer designed septic tank  
system as shown.  
Refer to Engineers Design Report  
by TITUS Consulting Engineers  
Ref. 11122

Basin	40mm dia. @ 1:40 fall
Bath	40mm dia. @ 1:40 fall
Shower	40mm dia. @ 1:40 fall
Sink	50mm dia. @ 1:40 fall
Tub	50mm dia. @ 1:40 fall
W.C. & waste pipes under conc. slab.	100mm dia. @ 1:60 fall

T.V.	Terminal Vent
AAV	Air Admittance Valve
V	Vent
G.T.	Gully Trap
O.R.G.	Overflow Relief Gully
I.J.	Inspection Joint
I.B.	Inspection Bend
D.P.	100mm dia. Down Pipe

Note:  
All foul water sanitary plumbing and drainage shall comply with AS/NZS 3500.  
All stormwater drainage shall comply with NZBC E1 / AS1  
All plumbing fixtures to be low flow and to have a min. 3 star rating to comply with NZ water efficiency scheme.

C	9/10/23	Ancillary Flat washing machine shown on Site / drainage plan
B	22/9/22	Ancillary Flat living court, service court and parking shown. Water tanks relocated, SS & SW Amended as per as-built plan.
A	28/01/22	Amendments for Resource Consent Application.
REVISION:      DATE:      REVISION NOTE:		

### SITE PLAN - GULLY PROTECTION OVERLAY

DRAWN	CHECKED	DATE	SCALE @ A3	JOB No.	C REV
D Cowie	D Cowie	3/12/21	1:250	2107	

WG No. **1** **C**  
REV  
OF **23**

PROPOSED CAMERON RESIDENCE  
AT LOT 2 SH26 HAMILTON.

LOT 2  
D.P. 556335  
Area 3389 m2  
(LLRZ 1490m2 + EPO 1899m2)

**Note:**  
Provide 2.0m high  
screen fence to  
proposed Ancillary Unit.

Ancillary Unit 12 m2  
Living Court

Ancillary Unit 10 m2  
Service Court

PROPOSED  
HOUSE

1st FL. Living Area...236.6 m<sup>2</sup>  
Basement Area.....231 m<sup>2</sup>

Min. 55 m2  
Living Court

R.O.W.

**Don Cowie**  
**Draughting &**  
**Design Services Ltd** 43.5m

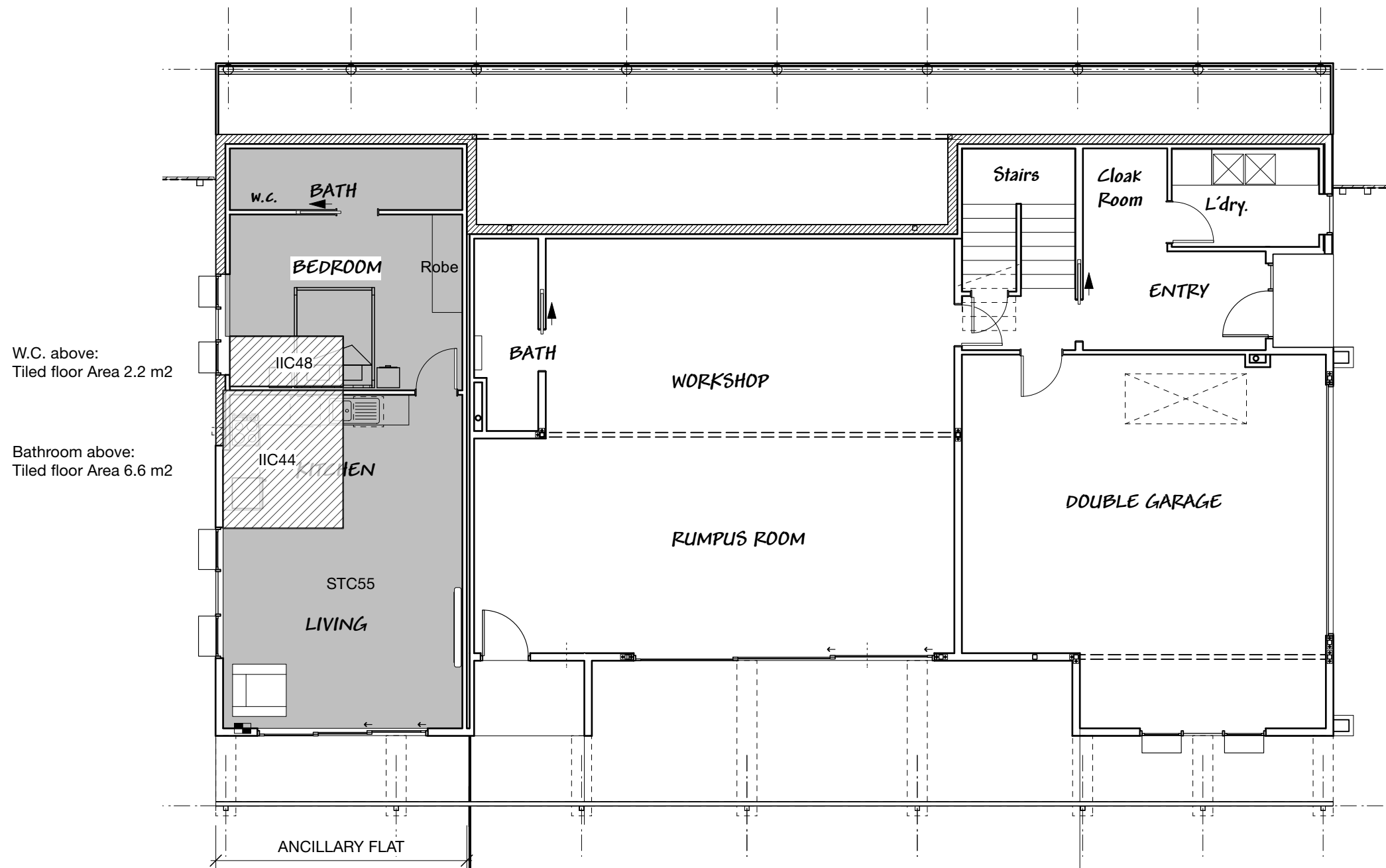
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# BUILDING UNIT

## APPROVED AMENDMENT

BC Number - DD007.2021.00043914.002



W.C. above:  
Tiled floor Area 2.2 m<sup>2</sup>

Bathroom above:  
Tiled floor Area 6.6 m<sup>2</sup>

### Note:

Denotes First Floor Bathroom and W.C. tiled floor above to be over laid with Durecore Silent Laminate Flooring on 2mm Jacobsen Silent Shield underlay.

denotes remainder of floor area above that has carpet on 12mm foam underlay, which exceeds the recommended IIC55 rating.

Ancillary Unit Area.....61 m<sup>2</sup>

### GIB NOISE CONTROL SYSTEMS - INTERTENANCY FLOOR / CEILING - STEEL JOISTS

GBSJA 45 (55 STC, 45/45/45 FRR) Noise Control, Fire rated ceiling construction: 2 layers of 13mm Gib Fyrelite on Gib Rondo metal battens @ 600crs. on Gib Quiet clips. R1.8 Batts, 75mm insulation. (R3.2 Batts ceiling insulation installed) 20mm HD particle bd. flooring on EJ290x2.5 EZYJOIST @ 450crs. floor joists

### Performance:

STC 55

RW 55

FRR 45/45/45

IIC 48 is achieved by bare floor.

IIC 51 is achieved with a floor covering of 4mm cushion-backed vinyl.

IIC 72 is achieved with floor covering of 40oz cut pile carpet loose laid on 8mm foam underlay.

### Note:

The acoustic testing carried out on 9/08/23 by Acoustics Certificates Ltd. showed the following results;

STC 55 rating - Pass.

Upstairs tiled W.C. over Ancillary Flat bedroom IIC 48 < 50 Fail

Upstairs tiled Bathroom over Ancillary Flat Kitchen IIC 44 < 50 Fail

As can be seen on the adjacent Ancillary Flat Basement Floor Plan the walkable tiled surface area subject to impact sound transference of the above W.C. is only 2.1% of the total floor area and 7.4% for the above bathroom. The rest of the upper floor area is covered with carpet on 12mm foam underlay giving a IIC rating of approx. 72 as noted in the GIB NOISE CONTROL SYSTEMS NOTE.

It is hard to see why the Bathroom test is less than the WC test given that they both have exactly the same floor construction as recommended by GIB - GBSJA 45. I assumed the tiled floor plus the extra 6mm layer of Hardie backer board on top of the particle board floor as the tile substrate and the extra R3.2 mid floor insulation over and above the recommended R1.8 Batts insulation would achieve over IIC50 since the standard floor system with bare floor achieves IIC48.

As noted in the Acoustic report, to remedy the tiled floor areas to a floating additional floor on rubber spaces as per GBDFA 60D system or similar would not only be very costly at this finished stage and would add a trip hazard, with a min. 80mm step up into the WC and Bathroom. The WC and Bathroom fixtures would have to be remove, existing tiled floor removed, plumbing fixture heights adjusted, the additional floor constructed, fixtures reinstalled and new tiled floor laid.

To meet the min. IIC50 required for onsite testing as per NZBC G6, it is therefore proposed to provide an additional acoustic rubber underlay over the existing tiled floors along with Durecore Silent Laminate Flooring to both the bathroom and W.C. floors.

The proposed 2mm Jacobsen Silent Shield has an Impact Sound Transmission rating of 18dB and along with 7-8mm laminate flooring is reported to give an IIC rating of 55/57. (refer attached doc's.)

The 7.5mm Durecore Silent Laminate Flooring has an Impact Sound Transmission rating of 21dB and is reported to give an IIC rating of 69. (refer attached doc's.)

This will give the GBSJA 45 floor system an estimated extra 39dB Impact Sound Transmission rating, resulting in an IIC of 55-69.

Once the new Durecore Silent Laminate Flooring is laid, a new Acoustic test will be carried out to confirm the Bathroom and WC floors meet the minimum on site test result of IIC50 required by G6.

A 25/10/23 First Floor Bathroom and W.C. to be over laid with Durecore Silent Laminate Flooring on 2mm Jacobsen Silent Shield underlay to increase the IIC acoustic rating.

ANCILLARY FLAT ACOUSTICS				
DRAWN	CHECKED	DATE	SCALE @ A3	JOB No.
D. Cowie	D. Cowie	Oct. 2023	1:100	2107

DWG No. **A1**  
REV  
OF 23

**Don Cowie**  
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**PROPOSED CAMERON RESIDENCE**  
**AT LOT 2 SH26 HAMILTON.**

Wet Areas Note:  
- All wet areas are to have approved safety glazing to windows and shower screens/doors or tiled or vinyl floors with tiled / painted finish to walls on 10mm Gib Aqualine wall lining and painted 13mm Aqualine ceiling linings to E3/AS1.  
First Floor Bathroom, W.C. & Ensuite to have tiled floors Refer attached E3/AS1 Fig.1(b),Fig.3(b), Ens. tiled shower refer Fig.4(c).  
Basement Bathroom & L'dry. to have vinyl floors & cubical showers refer E3/AS1 Fig.1(a), Fig.3(b) & Fig.4(b). N.B. Main First floor Bathroom also has cubical shower (Fig.3(b) )

Hamilton City Council

To the Mayor and the Council

BUILDING UNIT

APPROVED AMENDMENT

BC Number - DD007.2021.00043914.002

**Living Area.....236.6 m<sup>2</sup>**

**FIRST FLOOR PLAN**

**PROPOSED CAMERON RESIDENCE AT LOT 2 SH26 HAMILTON.**

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**PROPOSED FIRST FLOOR PLAN**

DRAWN	CHECKED	DATE	SCALE @ A3	JOB No.
D. Cowie	D. Cowie	3/12/21	1:100	2107

DWG No. **2** C REV OF 23

Note:  
Bathroom and W.C. to be overlayed with Durecore Silent Laminate Flooring on 2mm Jacobsen Silent Shield underlay to increase the IIC acoustic rating.

Deck Construction Note:  
89x3.5 SHS Veranda posts / beams and deck 230 PFC bearer to be temporary braced to enable the fixing of the roof structure and wall cladding prior to fixing of the deck stringers, joists and decking.

Note:  
410x400 garage columns. Refer detail 9 sht. 21.

ELEVATION KEY

Note:  
Bathroom and W.C. to be over laid with Durecore Silent Laminate Flooring on 2mm Jacobsen Silent Shield underlay to increase the IIC acoustic rating.

Verandah beam / Deck posts changed to 230 PFC on 89 x 3.5 SHS posts. Fire place removed.

Bathroom wet areas note, column note, Deck construction note & T.V. note added.



Note:  
Kiwi Frame - steel for framing wall framing  
with steel EZY JOIST mid floor framing.

Note:  
2/290x45 SG8 H3.2 Deck Bearers  
continuous over 2 spans supported  
on 200 SED HDT driven piles.

Note:  
30min. fire rating to non-load bearing  
metal framed wall. Load bearing masonry  
wall on outer face and 10mm Aqualine or  
10mm Fyrelime on inside face.  
Similar to GBS 30

Note:  
190mm Load Bearing Masonry Block Retaining  
Wall with non load bearing 89mm steel framed  
wall against the inside of the wall to enable the  
placement of the R2.8 Batts wall insulation.

Note:  
Load bearing point for Steel frame lintel above by Steelhaus.

Note:  
2600 high x 8000 wide stacker S/D at upper F.L.  
with steel portal frame lintel above by Steelhaus.

Note:  
100mm dia.  
stack pipe.

Note:  
Beam 1 - 410UB54 beam on  
89x89x6 SHS post each end.  
Refer sheet 18 & 19.

Note:  
GBSA 60c (59 STC,  
60/60 FRR) Two way  
Noise Control, Fire rated  
wall construction:

Note:  
GBUW 30b (30/30/30  
FRR) One way Fire rated  
wall construction:  
1 layer 10mm Braceline +  
1 layer 10mm Fyrelime.

Note:  
2600 high x 8000 wide stacker S/D at upper F.L.  
with steel portal frame lintel above by Steelhaus.

Note:  
100mm dia.  
stack pipe.

Note:  
Beam 3 - 230 PFC beam on  
89x89x6 SHS post each end.  
Refer sheet 18 & 19.

Note:  
410x400 garage columns.  
Refer detail 9 sht. 21.

Note:  
230 PFC bearer supported on  
89x3.5 SHS verandah posts.

Entry / L'dry. / Stairs Area.....30.5 m2  
Workshop / Rumpus Area.....84.5 m2  
Ancillary Unit Area.....61 m2  
Garage Area.....55 m2  
Total Basement Area....231.0 m2 (Outside block/Slab)

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**PROPOSED CAMERON RESIDENCE**  
**AT LOT 2 SH26 HAMILTON.**

**BASEMENT FLOOR PLAN**

REVISION: DATE: REVISION NOTE:  
C 25/10/23 Continued GBUW30b fire wall around corner by basement / Rumpus room entry door.  
B 2/10/23 Ancillary Flat L'dry. Washing machine position noted and exterior fire walls shown.  
A 20/6/22 61 m2 Ancillary unit Kitchen added with fire door removed. Verandah posts changed to 89 SHS.  
Secondary 1.2-1.5m high timber retaining walls to NZBC Schedule 1.

**BASEMENT FLOOR PLAN**

DRAWN	CHECKED	DATE	SCALE @ A3	JOB No.
D. Cowie	D. Cowie	3/12/21	1:100	2107

DWG No. **3**  
C  
REV  
OF 23

Insulation Notes:  
Compliance with H1

- The proposed Basement meets the criteria required by using the 'Schedule Method' and the First Floor level meets the criteria by using the "Calculation Method" (refer attached calc's.)

Insulation:

- Ceiling
- Walls
- Joinery
- Mid Floor/ceiling.
- Ground Floor slab.

R3.1 -R3.2 'Mammoth' Insulation.  
R2.0 -R2.8 'Mammoth' Insulation.  
R0.26 - Clear double glazed with Aluminium frame.  
R3.1 -R3.2 'Mammoth' Insulation.  
R1.3 -Conc. slab on DPM.  
(Area/perimeter ratio=2.8)

Basement Floor Level  
'Schedule Method':

NORTH ELEVATION:  
Wall area 31m2  
Joinery area 1.9m2  
6% < 30% O.K.

COMBINED WEST, EAST & SOUTH ELEVATIONS:  
Wall area 150m2  
Joinery area 31.4m2  
21% < 30% O.K.

TOTAL ELEVATIONS:  
Wall area 181m2  
Joinery area 33.3m2  
18% < 30% O.K.

'H1 - First Floor Level':

TOTAL ELEVATIONS:  
Wall area 200m2  
Joinery area 99.8m2  
49.9% < 50% O.K.



**PROPOSED ELEVATIONS**  
**PROPOSED CAMERON RESIDENCE**  
**AT LOT 2 SH26 HAMILTON.**

**Note:**  
S.G. - shown on elevations denotes required safety glazing to comply with NZS 4223.3:2016

**B** Jan. 23 Exterior cladding changed to Linea W/bds. & Vert. timber shiplap W/bds. Verandah beam / Deck posts changed to 230PFC on 89 x 3.5 SHS posts. Fire & chimney removed. Ancillary Flat.  
**A** 28/01/22 Safety glass to elevation 1 wet areas, H1 Compliance. notes amended.

PROPOSED ELEVATIONS 1 & 2					DWG No. <b>4</b> B REV OF 23
DRAWN	CHECKED	DATE	SCALE @ A3	JOB No.	
D. Cowie	D. Cowie	31/12/21	1:100	2107	
REVISION:	DATE:	REVISION NOTE:			



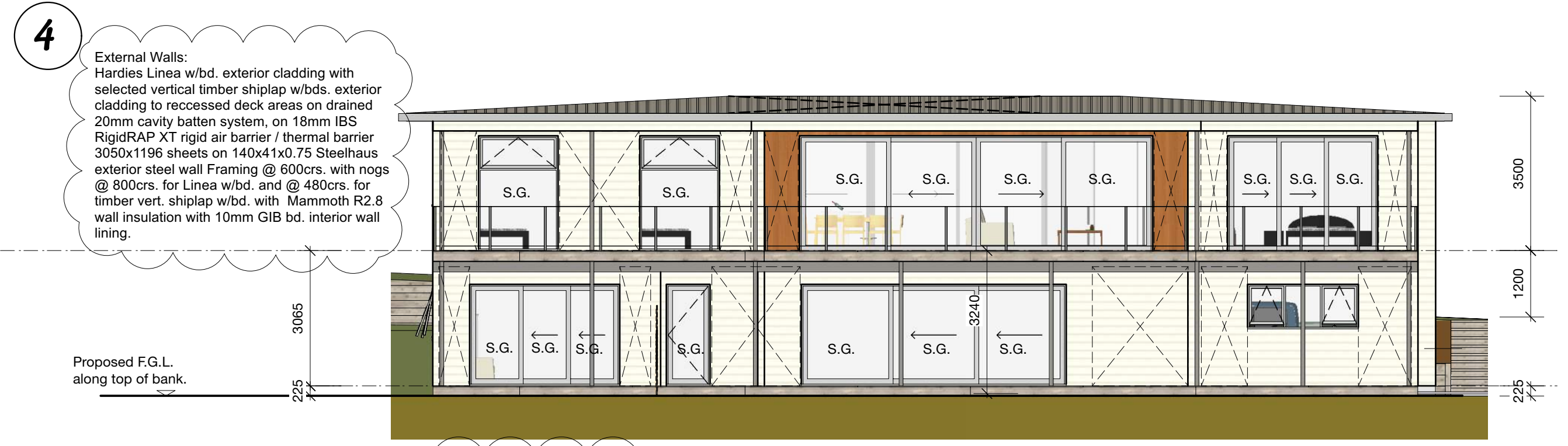
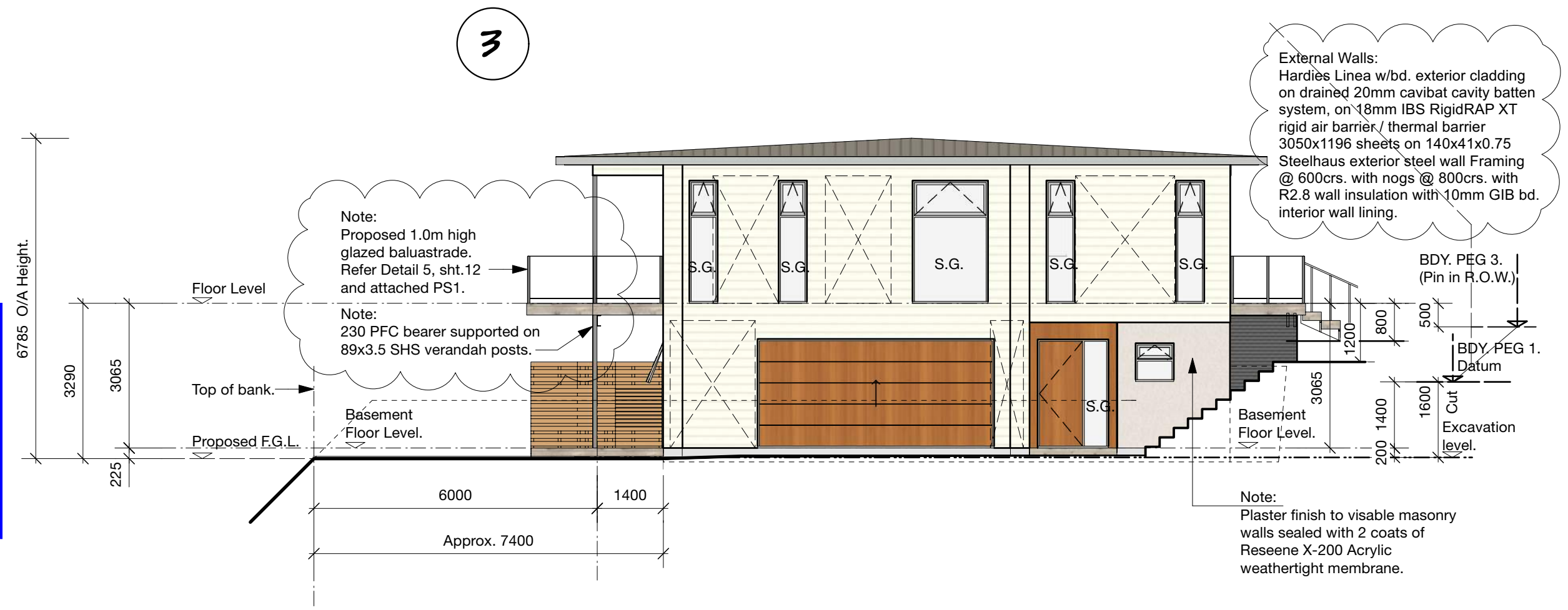
Colorsteel Trapazoidal longrun roofing iron on 3 degree hip roof with colorstel 185 metal fascia and external box guttering.

Aluminium joinery. (Double glazed)  
Refer to spec. for NASH Building Envelope solutions for E2/AS1 Fig. 107 and clause 9.8.8 for head,jamb & sill details.



**BUILDING UNIT**  
APPROVED AMENDMENT

BC Number - DD007.2021.00043914.002



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PROPOSED ANCILLARY UNIT  
AT BASEMENT LEVEL

**PROPOSED ELEVATIONS**

**PROPOSED CAMERON RESIDENCE**  
**AT LOT 2 SH26 HAMILTON.**

Note:  
S.G. - shown on elevations denotes required safety glazing to comply with NZS 4223.3:2016

B	Jan. 23	Exterior cladding changed to Linea W/bds. & Vert. timber shiplap W/bds. Verandah beam / Deck posts changed to 230PFC on 89 x 3.5 SHS posts. Fire & chimney removed. Ancillary Flat.
A	28/01/22	PS1 reference on handrail note.

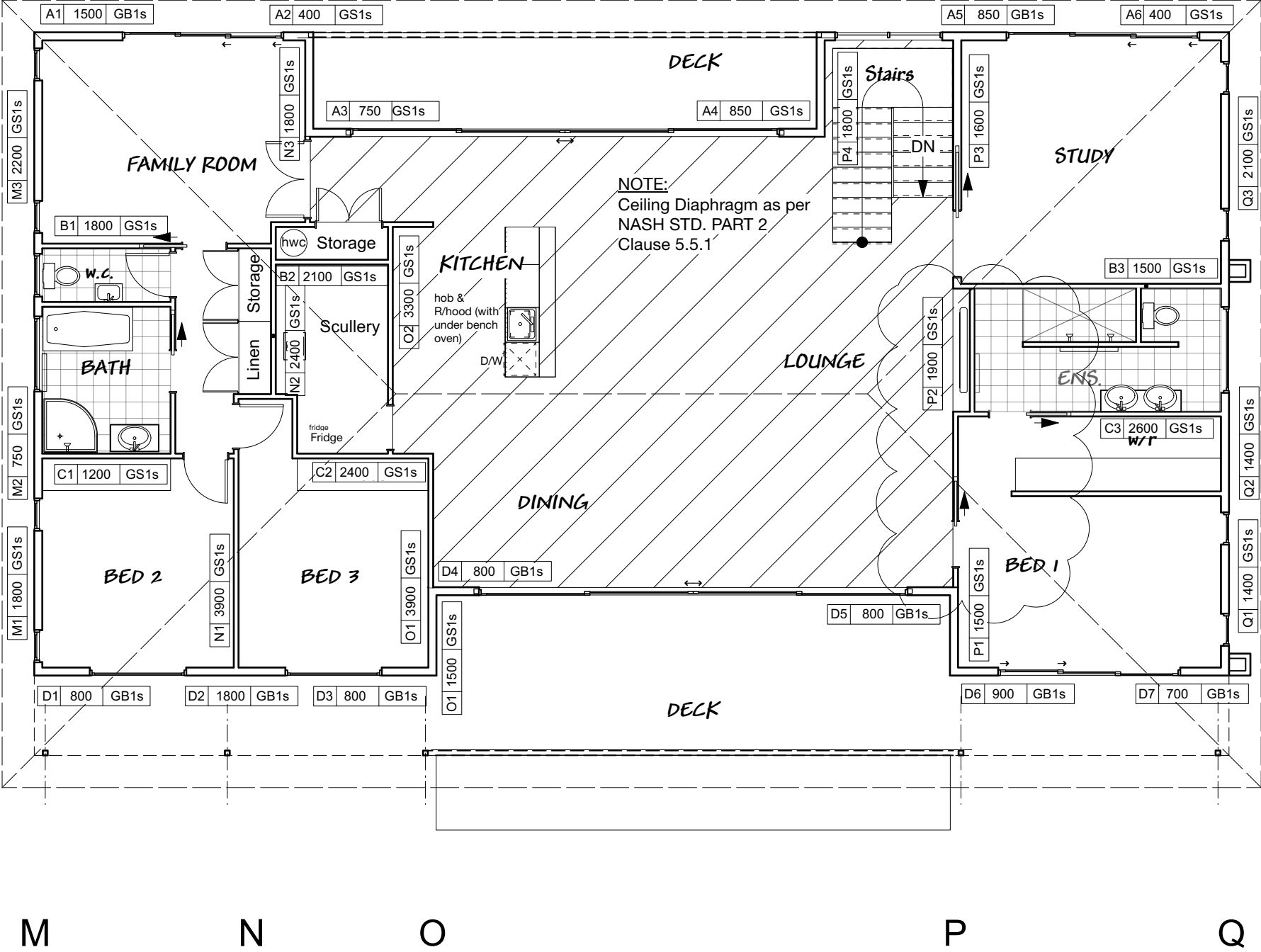
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PROPOSED ELEVATIONS					DWG No. <b>5</b> B REV OF 23
DRAWN	CHECKED	DATE	SCALE @ A3	JOB No.	
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NOTE:  
Wall Bracing as per NASH STD. PART 2  
Clause 5.0 to 5.5

Wind Zone: Very High

WALL BRACING PLAN

PROPOSED CAMERON RESIDENCE  
AT LOT 2 SH26 HAMILTON.

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B	18/10/22	Fire place removed, Wall brace P2 moved to accomodate internal S/D to bed 1.		
A	28/2/22	Wall Bracing designed to NASH STD. PART 2.		
REVISION:	DATE:	REVISION NOTE:		
FIRST FLOOR WALL BRACING PLAN				
DRAWN	CHECKED	DATE	SCALE @ A3	JOB No.
D. Cowie	D. Cowie	3/12/21	1:100	2107

DWG No.

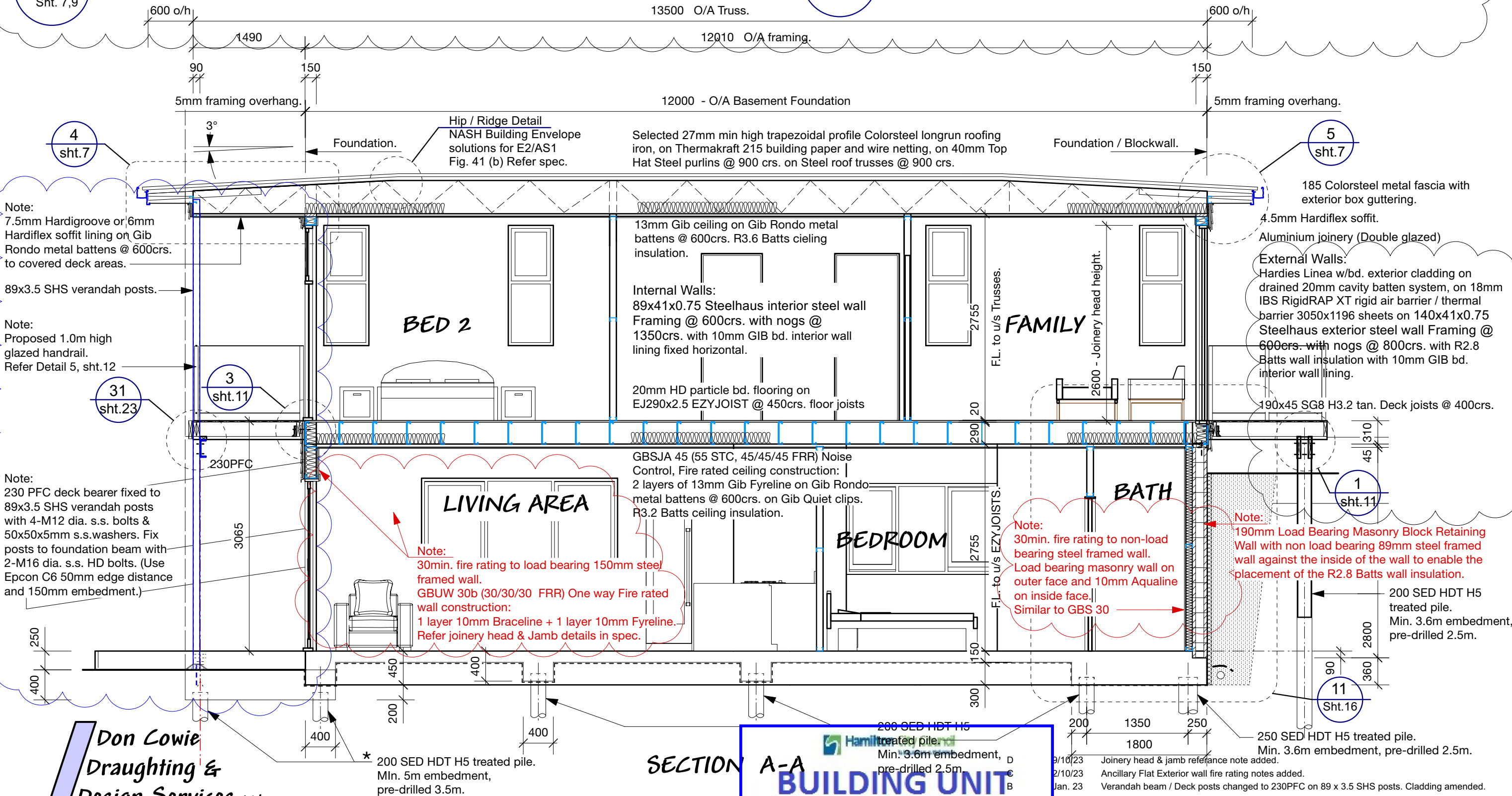
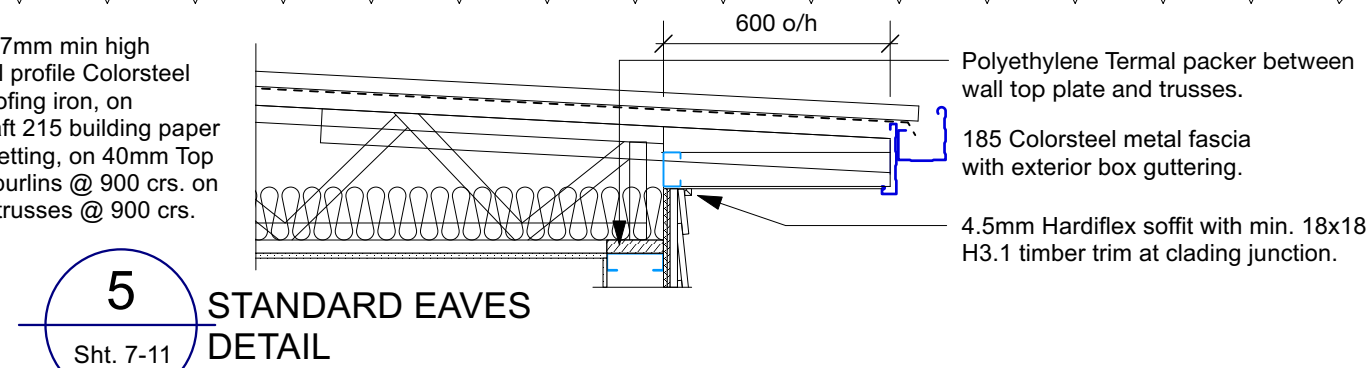
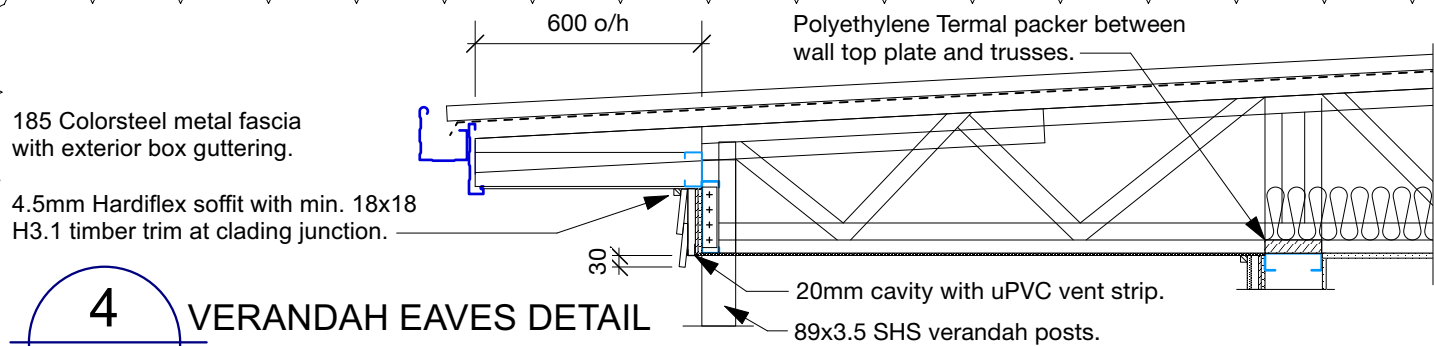
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B

REV

OF

23





# BUILDING UNIT

## APPROVED AMENDMENT

BC Number - DD007.2021.00043914.002

Selected 27mm min high trapezoidal profile Colorsteel longrun roofing iron, on Thermakraft 215 building paper and wire netting, on 40mm Top Hat Steel purlins @ 900 crs. on Steel roof trusses @ 900 crs.

185 Colorsteel metal fascia with exterior box guttering.

4.5mm Hardiflex soffit.

Aluminium joinery (Double glazed)

External Recessed Deck Walls: selected vertical timber shiplap w/bds. exterior cladding to recessed deck areas on drained 20mm cavity batten system, on 18mm IBS RigidRAP XT rigid air barrier / thermal barrier 3050x1196 sheets on 140x41x0.75 Steelhaus exterior steel wall Framing @ 600crs. with nogs @ 480crs. with R2.8 Batts wall insulation with 10mm GIB bd. interior wall lining.

Note: Proposed 1.0m high glazed handrail. Refer Detail 5, sht.12

190x45 SG8 H3.2 tan. Deck joists @ 400crs.

Note: 230 PFC deck bearer fixed to 89x3.5 SHS verandah posts with 4-M12 dia. s.s. bolts & 50x50x5mm s.s.washers. Fix posts to foundation beam with 2-M16 dia. s.s. HD bolts. (Use Epcon C6 50mm edge distance and 150mm embedment.)

Note: Steelhaus Engineer designed beams project into truss roof framing.

Ridge / Hip Detail  
NASH Building Envelope solutions for E2/AS1  
Fig. 41 (b)  
Refer spec.

Note: Steelhaus Engineer designed beams project into truss roof framing.

External Recessed Deck Walls: Selected vertical timber shiplap w/bds. exterior cladding on drained 20mm cavity batten system, on 18mm IBS RigidRAP XT rigid air barrier / thermal barrier 3050x1196 sheets on 140x41x0.75 Steelhaus exterior steel wall Framing @ 600crs. with nogs @ 480crs. with R2.8 Batts wall insulation with 10mm GIB bd. interior wall lining.

Note: 7.5mm Hardigroove or 6mm Hardiflex soffit lining on Gib Rondo metal battens @ 600crs. to covered deck areas.

**Don Cowie**  
Draughting &  
DESIGN ENGINEER

The structural elements designated \* on this drawing have been designed by Arnold & Johnstone 2015 Ltd, Consulting Engineers

Date 31.08.23

Job No 12843 Signed

Basement External Framed Walls: Hardies Linea w/bd. exterior cladding on drained 20mm cavity batten system, on 18mm IBS RigidRAP XT rigid air barrier / thermal barrier 3050x1196 sheets on 140x41x0.75 Steelhaus exterior steel wall Framing @ 600crs. with nogs @ 800crs. with R2.8 Batts wall insulation with 10mm GIB bd. interior wall lining.

## SECTION B-B

PROPOSED CAMERON RESIDENCE  
AT LOT 2 SH26 HAMILTON.

B Jan. 23 Verandah beam / Deck posts changed to 230PFC on 89 x 3.5 SHS posts. Cladding amended.  
A 17/2/22 Ridge, eaves and column reference details added.  
REVISION: DATE: REVISION NOTE:

SECTIONS B-B				
DRAWN	CHECKED	DATE	SCALE @ A3	JOB No.
D. Cowie	D. Cowie	3/12/21	1:50	2107

DWG No. **8**  
B  
REV  
OF 23

Note:  
7.5mm Hardigroove or 6mm Hardiflex  
soffit lining on Gib Rondo metal battens  
@ 600crs. to covered deck areas.

185 Colorsteel metal fascia with  
exterior box guttering.  
4.5mm Hardiflex soffit.  
Aluminium joinery (Double glazed)

External Walls:  
Hardies Linea w/bds. exterior cladding on  
drained 20mm cavity batten system, on 18mm  
IBS RigidRAP XT rigid air barrier / thermal  
barrier 3050x1196 sheets on 140x41x0.75  
Steelhaus exterior steel wall Framing @  
600crs. with nogs @ 800crs. with R2.8  
Batts wall insulation with 10mm GIB bd.  
interior wall lining.

190x45 SG8 H3.2 tan. Deck joists @ 400crs.

Note:  
230 PFC deck bearer fixed to  
89x3.5 SHS verandah posts with  
4-M12 dia. s.s. bolts & 50x50x5mm  
s.s.washers. Fix posts to  
foundation beam with 2-M16 dia.  
s.s. HD bolts. (Use Epcor C6  
50mm edge distance and 150mm  
embedment.)

Selected 27mm min high trapezoidal profile  
Colorsteel longrun roofing iron, on Thermakraft  
215 building paper and wire netting, on 40mm  
Top Hat Steel purlins @ 900 crs. on Steel roof  
trusses @ 900 crs.

Internal Walls:  
89x41x0.75 Steelhaus interior steel  
wall Framing @ 600crs. with nogs @  
1350crs. with 10mm GIB bd. interior wall  
lining fixed horizontal.

20mm HD particle bd. flooring on  
EJ290x2.5 EZYJOIST @ 400crs. floor joists

13mm Gib ceiling on Gib Rondo metal  
battens @ 600crs. on Gib Quiet clips.  
R3.2 Batts ceiling insulation.

Note:  
\* Beam 3 - 230 PFC Engineer designed  
steel beam on 89x89x6 SHS supports  
each end. Refer sheet 18 & 19.

Note:  
Trim for tiled shower in  
Ensuite to suit 25mm falls  
to waste outlet as shown.

FL. to u/s Trusses.  
FL. to u/s EZYJOISTS.

Note:  
89x41x0.75 Steelhaus  
interior steel wall  
Framing @ 600crs.  
with nogs @ 1350crs.  
with 10mm GIB bd.  
interior wall lining fixed  
horizontal.  
N.B. Provide D.P.C.  
between masonry wall.

200 SED  
HDT H5  
treated pile.  
Min. 3.6m  
embedment,  
pre-drilled  
2.5m.

\* 200 SED HDT H5  
treated pile.  
Min. 5m embedment,  
pre-drilled 3.5m.

\* 200 SED HDT H5  
treated pile.  
Min. 3.6m embedment,  
pre-drilled 2.5m.

\* 250 SED HDT H5 treated pile.  
Min. 3.6m embedment,  
pre-drilled 2.5m.

## DESIGN ENGINEER

The structural elements designated \*  
on this drawing have been designed by Arnold &  
Johnstone 2015 Ltd, Consulting Engineers

Date 31.08.23

Job No 12843

Signed

13500 O/A Truss.

12010 O/A framing.

## SECTION C-C

  
**BUILDING UNIT**  
APPROVED AMENDMENT

BC Number - DD007.2021.00043914.002

**Don Cowie**  
**Draughting &**  
**Design Services Ltd**

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**PROPOSED CAMERON RESIDENCE**  
**AT LOT 2 SH26 HAMILTON.**

B Jan. 23 Verandah beam / Deck posts changed to 230PFC on 89 x 3.5 SHS posts. Cladding amended.  
A 17/2/22 Eaves and column reference details added.  
REVISION: DATE: REVISION NOTE:

SECTION C-C					DWG No. <b>9</b> REV
DRAWN	CHECKED	DATE	SCALE @ A3	JOB No.	
D Cowie	D Cowie	3/12/21	1:50	2107	
OF 23					



# BUILDING UNIT

## APPROVED AMENDMENT

BC Number - DD007.2021.00043914.002

Selected 27mm min high trapezoidal profile  
Colorsteel longrun roofing iron, on Thermakraft  
215 building paper and wire netting, on 40mm  
Top Hat Steel purlins @ 900 crs. on Steel roof  
trusses @ 900 crs.

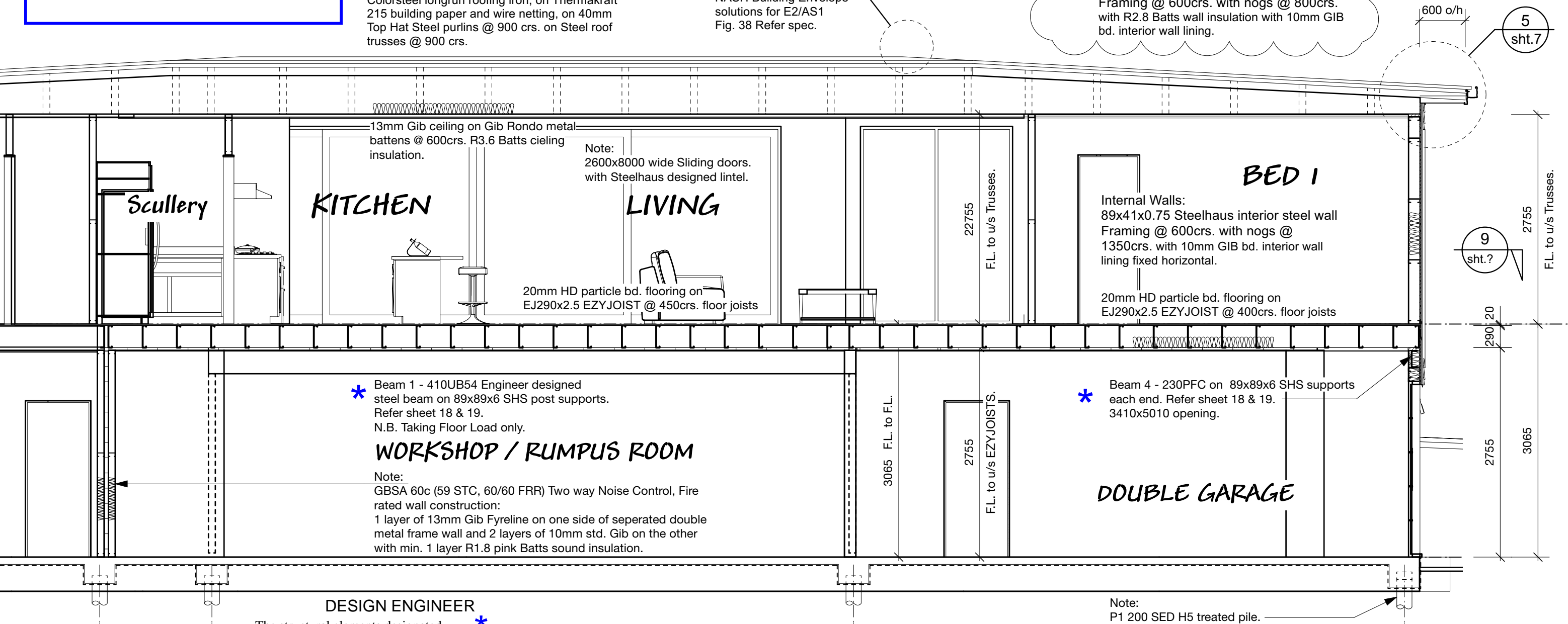
Ridge / Hip flashing Detail  
NASH Building Envelope  
solutions for E2/AS1  
Fig. 38 Refer spec.

185 Colorsteel metal fascia with  
exterior box guttering.

4.5mm Hardiflex soffit.

Aluminium joinery (Double glazed)

External Walls:  
Hardies Linea w/bd. exterior cladding on  
drained 20mm cavibat cavity batten system, on  
18mm IBS RigidRAP XT rigid air barrier /  
thermal barrier 3050x1196 sheets on  
140x41x0.75 Steelhaus exterior steel wall  
Framing @ 600crs. with nogs @ 800crs.  
with R2.8 Batts wall insulation with 10mm GIB  
bd. interior wall lining.



### DESIGN ENGINEER

The structural elements designated \*  
on this drawing have been designed by Arnold &  
Johnstone 2015 Ltd, Consulting Engineers

Date 31.08.23

Job No 12843

Signed

*[Signature]*

### SECTION D-D

PROPOSED CAMERON RESIDENCE  
AT LOT 2 SH26 HAMILTON.

B Jan. 23 Cladding amended.  
A 17/2/22 Ridge / Hip flashing, Eaves and column reference details added.  
REVISION: DATE: REVISION NOTE:

SECTION D-D				
DRAWN	CHECKED	DATE	SCALE @ A3	JOB No.
D. Cowie	D. Cowie	3/12/21	1:50	2107


DWG No.  
**10**  
B  
REV  
OF 23

**Don Cowie**  
**Draughting &**  
**Design Services Ltd**  
N.Z.C.E.

20 Waimarie Street Hamilton  
Ph. 07 847 8864 Mobile 027 6041 392  
Email: dcowie\_design@hotmail.com

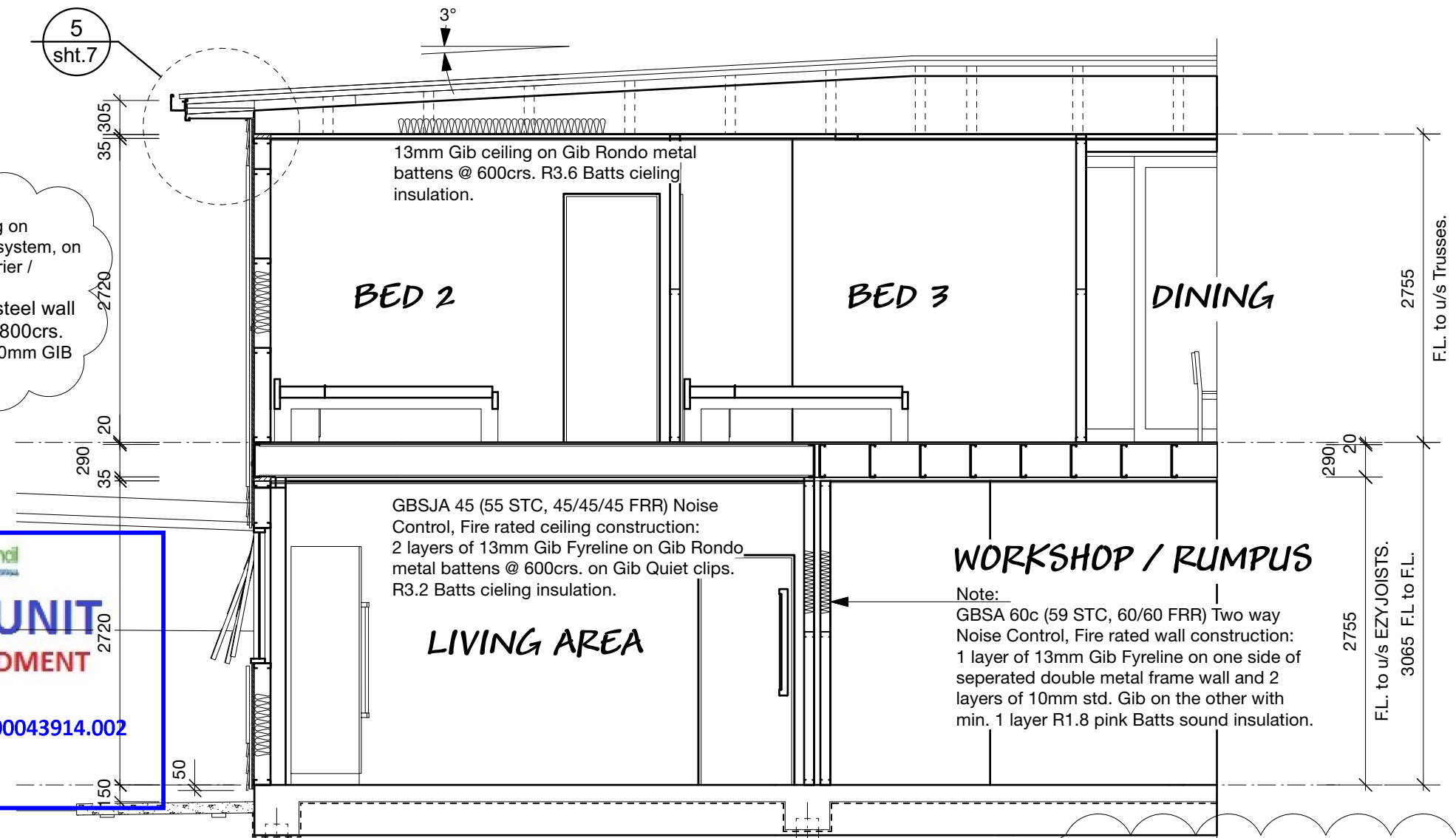
185 Colorsteel metal fascia with exterior box guttering.  
4.5mm Hardiflex soffit.  
Aluminium joinery (Double glazed)

External Walls:  
Hardies Linea w/bd. exterior cladding on drained 20mm cavibat cavity batten system, on 18mm IBS RigidRAP XT rigid air barrier / thermal barrier 3050x1196 sheets on 140x41x0.75 Steelhaus exterior steel wall Framing @ 600crs. with nogs @ 800crs. with R2.8 Batts wall insulation with 10mm GIB bd. interior wall lining.



**BUILDING UNIT**  
**APPROVED AMENDMENT**


BC Number - DD007.2021.00043914.002



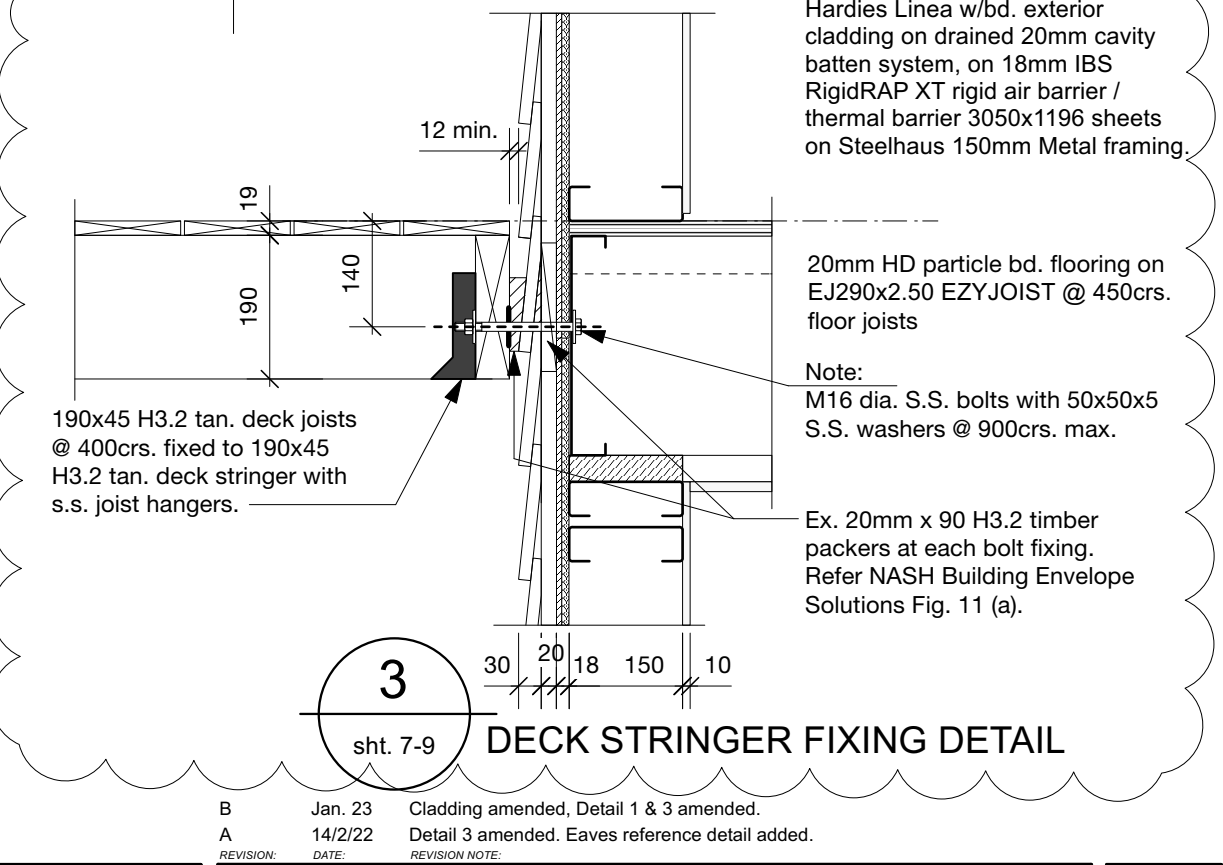
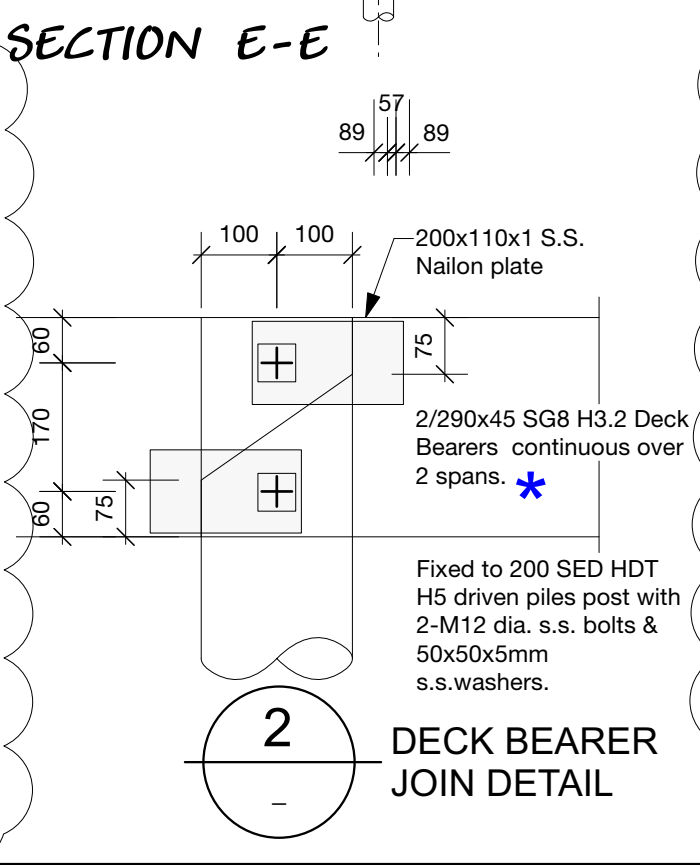
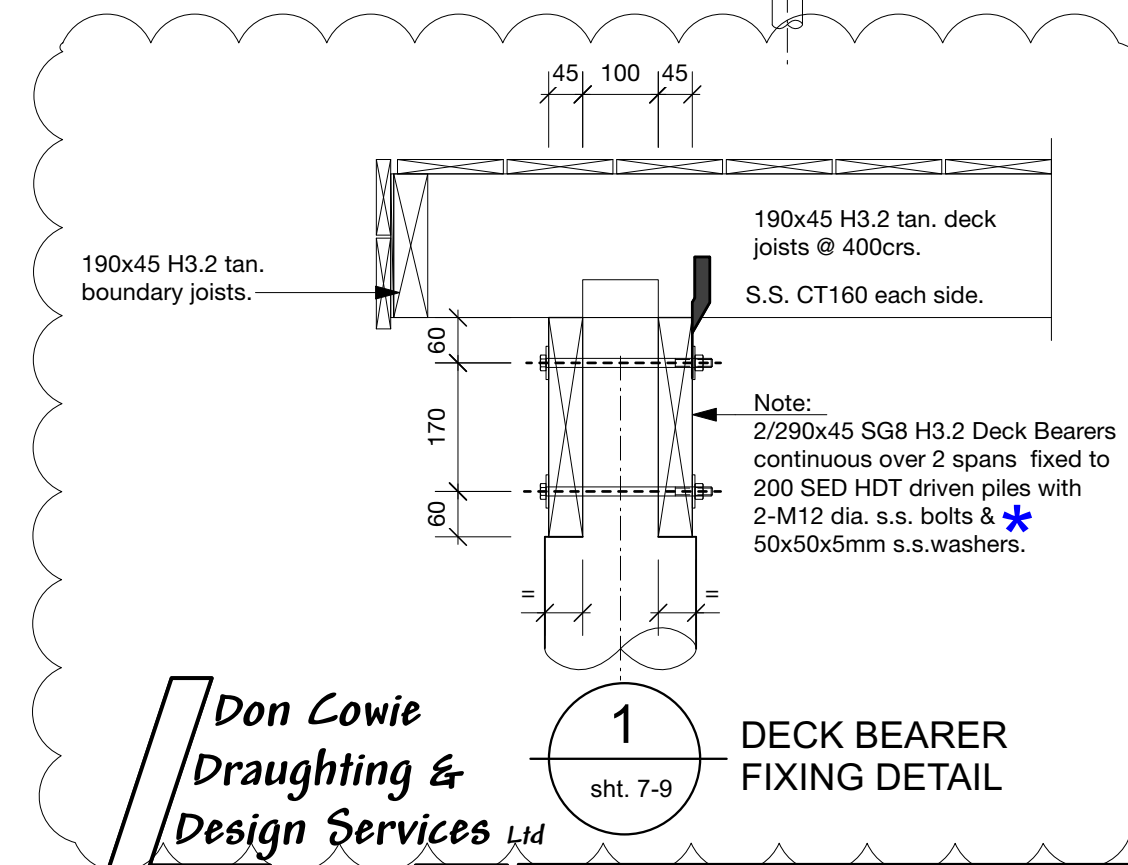
Selected 27mm min high trapezoidal profile Colorsteel longrun roofing iron, on Thermakraft 215 building paper and wire netting, on 40mm Top Hat Steel purlins @ 900 crs. on Steel roof trusses @ 900 crs.

Internal Walls:  
89x41x0.75 Steelhaus interior steel wall Framing @ 600crs. with nogs @ 1350crs. with 10mm GIB bd. interior wall lining fixed horizontal.

20mm HD particle bd. flooring on EJ290x2.5 EZYJOIST @ 450crs. floor joists

**DESIGN ENGINEER**  
The structural elements designated \* on this drawing have been designed by Arnold & Johnstone 2015 Ltd, Consulting Engineers  
Date 31.08.23  
Job No 12843 Signed 

### SECTION E-E



**Don Cowie**  
**Draughting &**  
**Design Services Ltd**  
N.Z.C.E.  
20 Waimarie Street Hamilton  
Ph. 07 847 8864 Mobile 027 6041 392  
Email: dcowie\_design@hotmail.com

**PROPOSED CAMERON RESIDENCE**  
**AT LOT 2 SH26 HAMILTON.**

B	Jan. 23	Cladding amended, Detail 1 & 3 amended.		
A	14/2/22	Detail 3 amended. Eaves reference detail added.		
REVISION:	DATE:	REVISION NOTE:		
<div>SECTION E-E &amp; DETAILS</div>				
DRAWN	CHECKED	DATE	SCALE @ A3	JOB No.
D. Cowie	D. Cowie	3/12/21	1:50, 1:20	2107

DWG No.

11

B

REV

OF

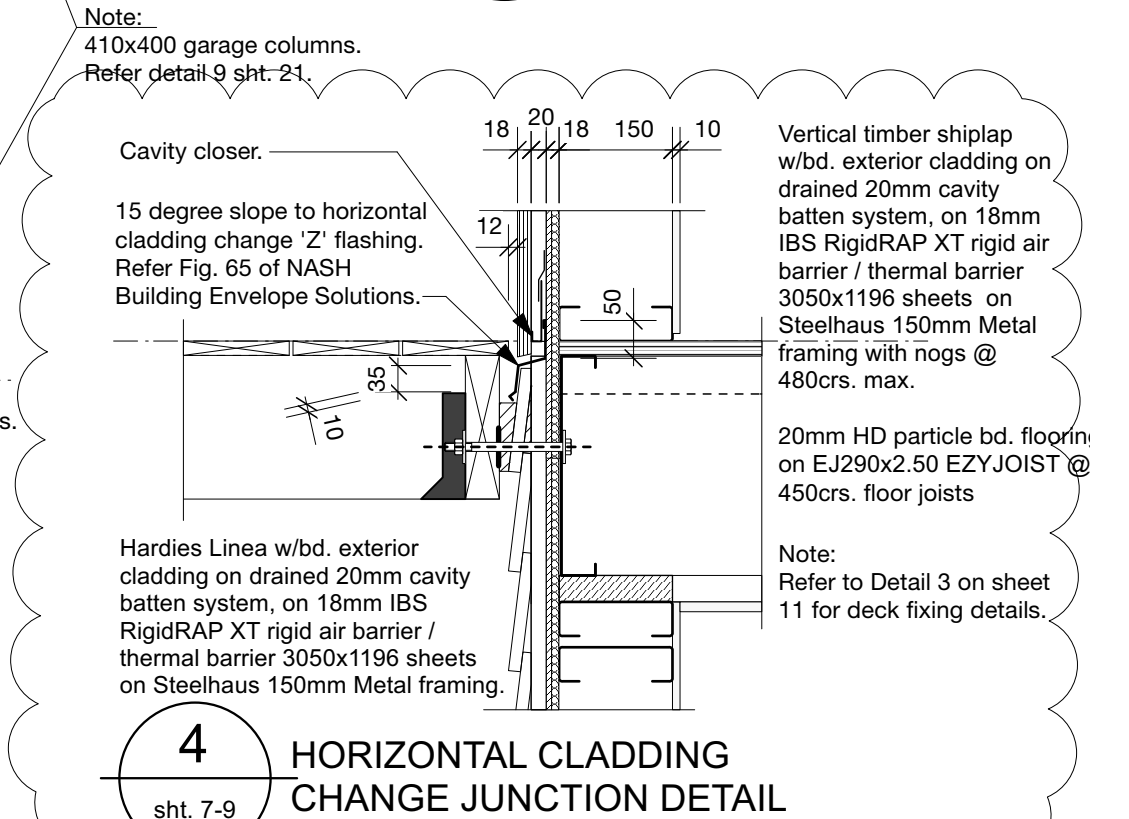
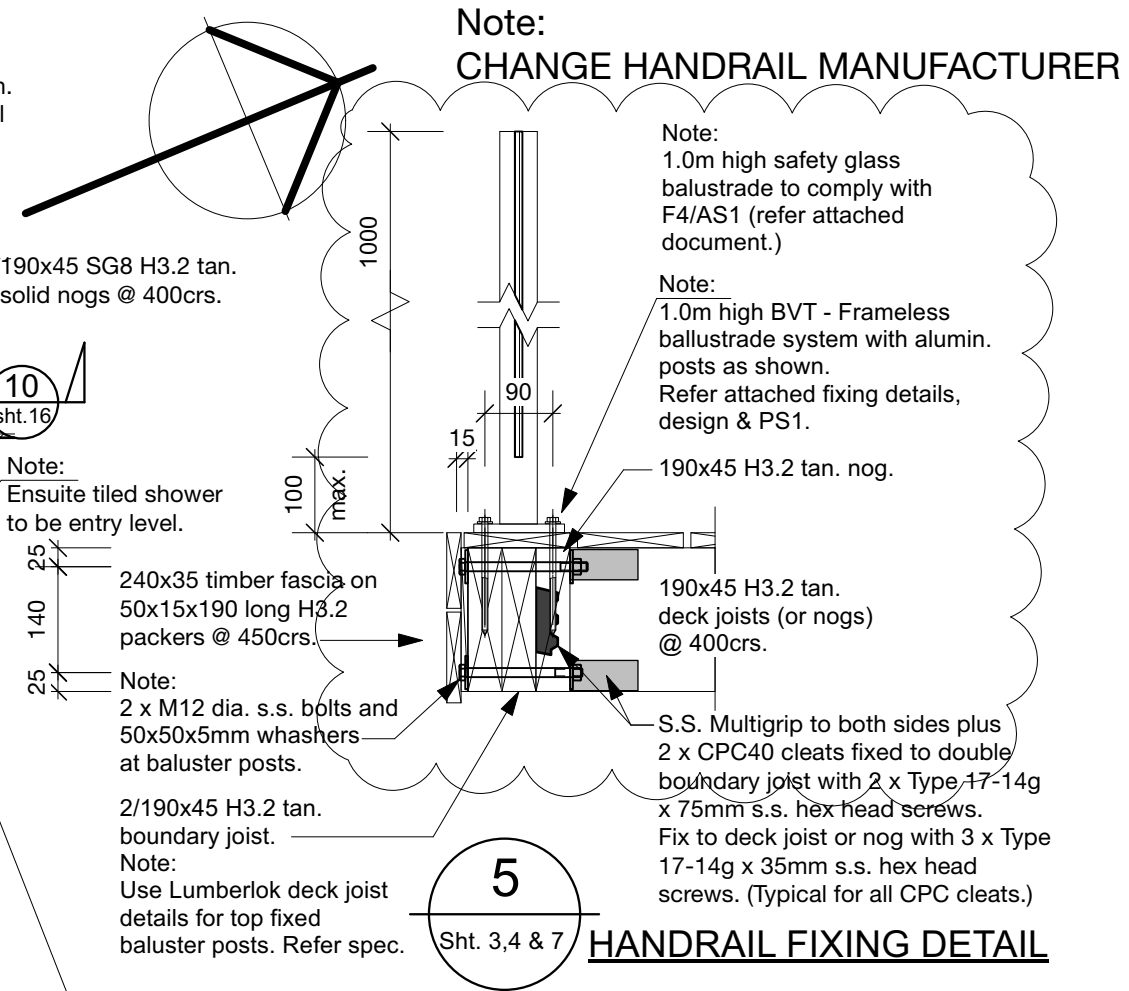
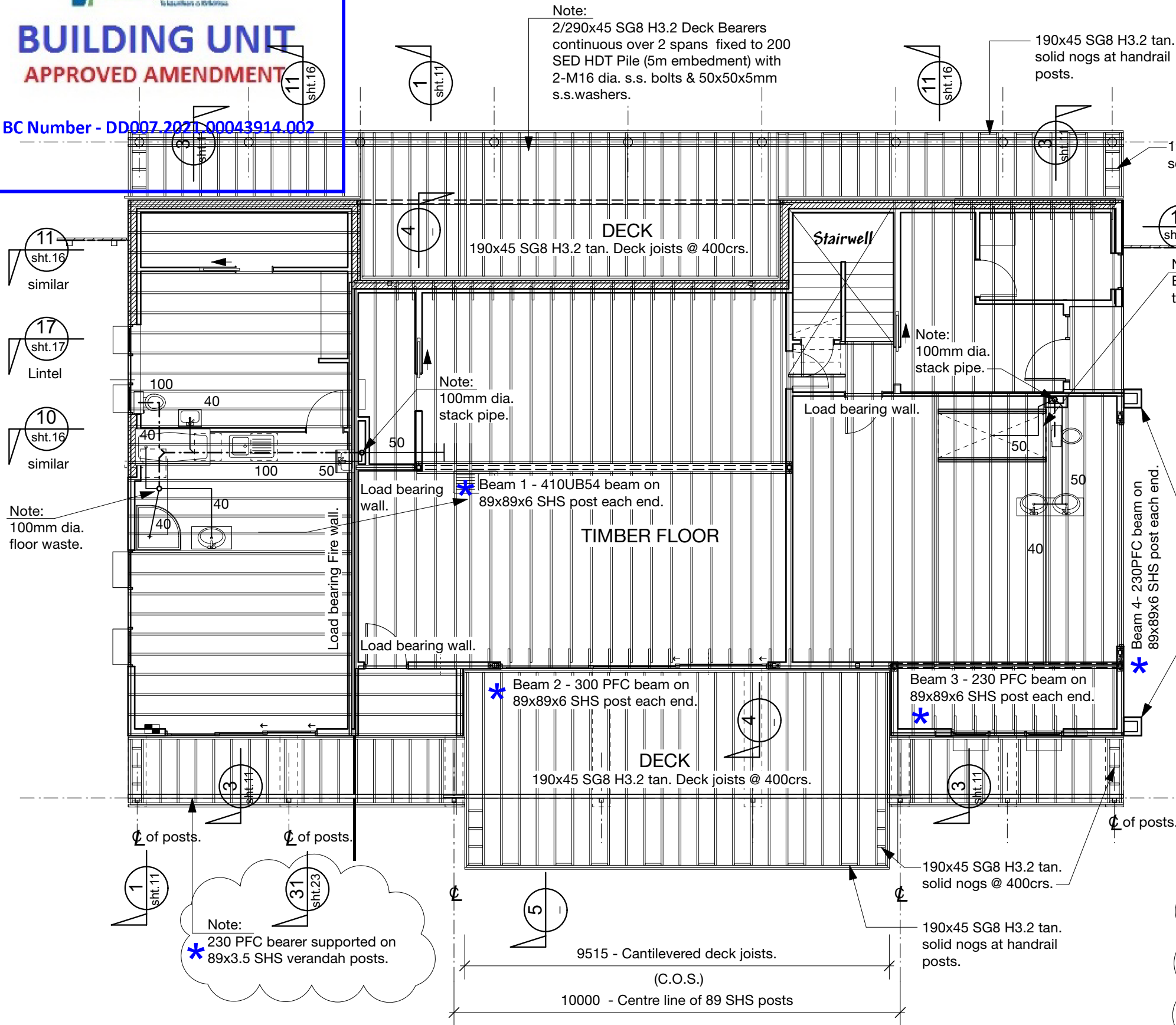
23



# BUILDING UNIT

## APPROVED AMENDMENT

BC Number - DD007.2021.00043914.002



### MID FLOOR FRAMING PLAN

PROPOSED CAMERON RESIDENCE  
AT LOT 2 SH26 HAMILTON.

**Don Cowie**  
Draughtsman  
Design

**DESIGN ENGINEER**

The structural elements designated \* on this drawing have been designed by Arnold & Johnstone 2015 Ltd, Consulting Engineers


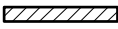
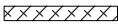
20 Waimarie Street Date 31.08.23  
Ph. 07 847 8864  
Email: dcowie\_de

Job No 12843 Signed

B	Jan. 23	Verandah beam / Deck posts changed to 230PFC on 89 x 3.5 SHS posts. Detail 4 amended. Deck balustrade changed to BVT- Frameless system.
A	17/2/22	Column reference details added. Multi grips & CT160 added to deck joists.
REVISION: DATE: REVISION NOTE:		
MID FLOOR FRAMING PLAN		
DRAWN	CHECKED	DATE
D. Cowie	D. Cowie	3/12/21
SCALE @ A3	JOB No.	
1:100	2107	

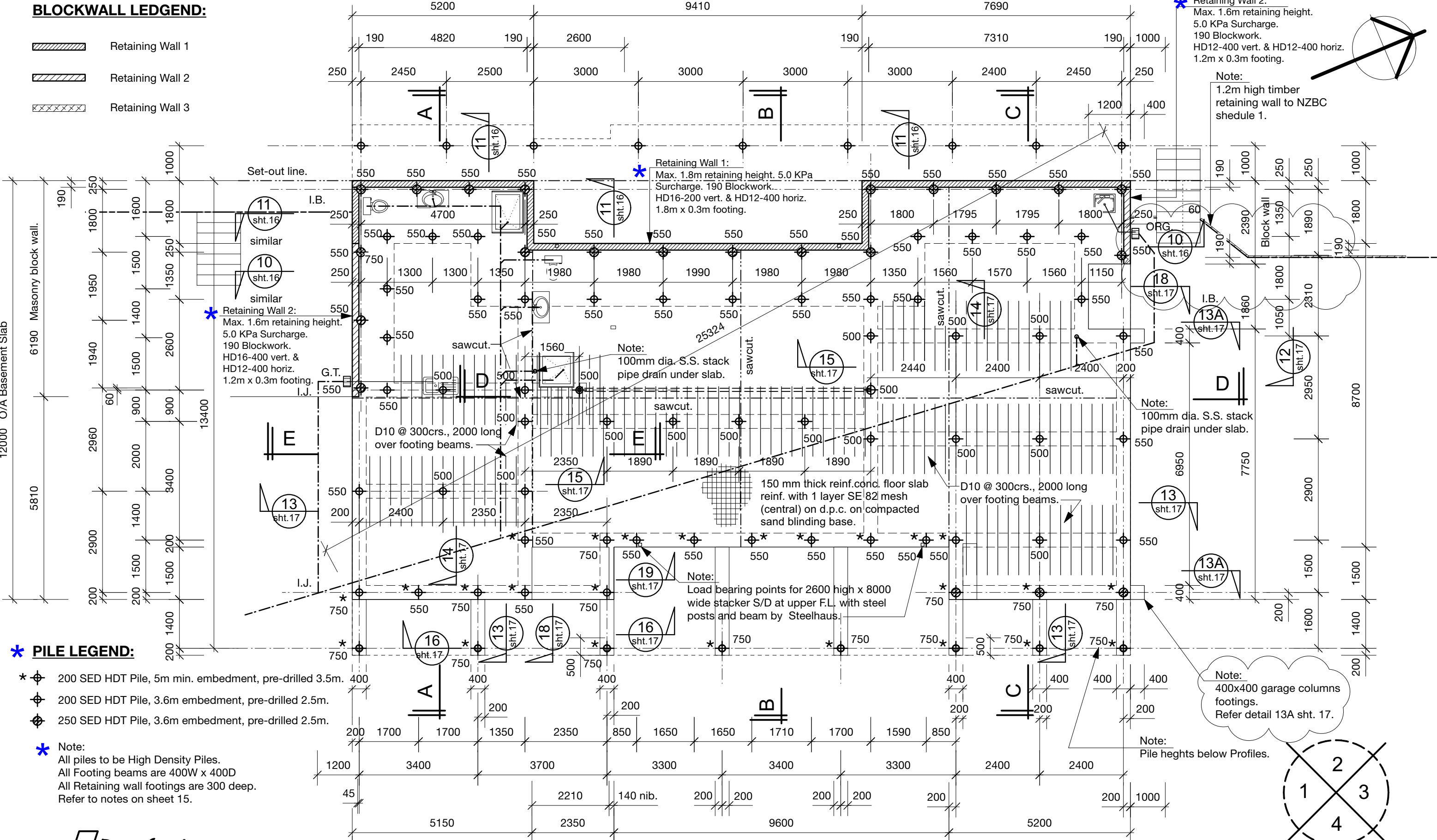
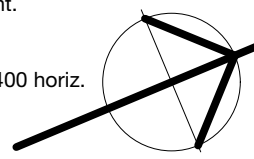
DWG No. **12**  
B  
REV  
OF 23

**BLOCKWALL LEDGEND:**




-  Retaining Wall 1  
 Retaining Wall 2  
 Retaining Wall 3

- \* Retaining Wall 2:  
Max. 1.6m retaining height.  
5.0 KPa Surcharge.  
190 Blockwork.  
HD12-400 vert. & HD12-400 horiz.  
1.2m x 0.3m footing.

Note:  
1.2m high timber  
retaining wall to NZBC  
shedule 1.




**\* PILE LEGEND:**


- \*  200 SED HDT Pile, 5m min. embedment, pre-drilled 3.5m.  
\*  200 SED HDT Pile, 3.6m embedment, pre-drilled 2.5m.  
\*  250 SED HDT Pile, 3.6m embedment, pre-drilled 2.5m.

\* Note:  
All piles to be High Density Piles.  
All Footing beams are 400W x 400D  
All Retaining wall footings are 300 deep.  
Refer to notes on sheet 15.

**Don Cowie**  
DESIGN ENGINEER

The structural elements designated \*  
on this drawing have been designed by Arnold &  
Johnstone 2015 Ltd, Consulting Engineers

Date 31.08.23  
Job No 12843  
Signed 



**BUILDING UNIT**  
**PROPOSED LAMERON RESIDENCE**  
**AT LOT 2 SH26 HAMILTON.**

BC Number - DD007.2021.00043914.002

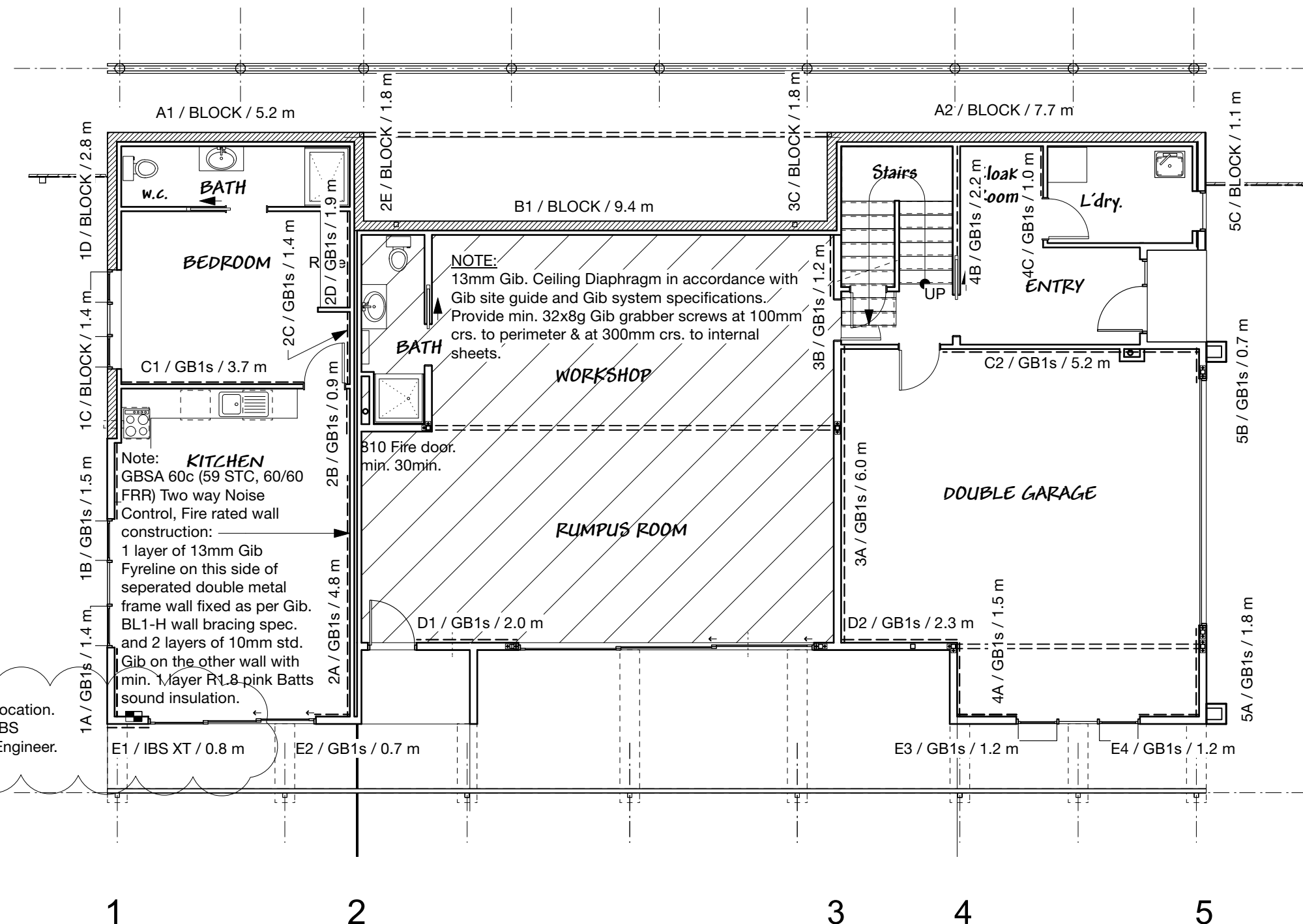
22300 O/A Basement Slab

**BASEMENT / FOUNDATION PLAN**

B A		13/7/23 17/2/22	S.S. under slab drainage amended as per as drainlayers built plan. Column reference details added.		
REVISION:		DATE:	REVISION NOTE:		
DRAWN		CHECKED	DATE	SCALE @ A3	JOB No.
D. Cowie		D. Cowie	3/12/21	1:100	2107

DWG No. **13** B  
REV 23





A

B

C

D

E



## BUILDING UNIT APPROVED AMENDMENT

BC Number - DD007.2021.00043914.002

### DESIGN ENGINEER

The structural elements designated **\*** on this drawing have been designed by Arnold & Johnstone 2015 Ltd, Consulting Engineers

Date 31.08.23

Job No 12843

Signed

### BASEMENT WALL BRACING LEGEND:

Brace Type	Lining requirement	Bottom plate fixing
GB1s	Min 10mm Gib Braceline on one side.	Gib EzyBrace end brace hold down washer as per NASH Gib System Specifications
BLOCK	190 series concrete blockwall.	N/A
IBIS XT	18mm IBS RigidRap XT	Gib EzyBrace end brace hold down washer as per NASH Gib System Specifications

REVISION: 13/7/23 DATE: 13/7/23 REVISION NOTE: Wall brace E1 amended.

Note:

Refer to Gib Ezy Brace literature for full system installation details.

### \* BASEMENT WALL BRACING PLAN

PROPOSED CAMERON RESIDENCE  
AT LOT 2 SH26 HAMILTON.

### BASEMENT WALL BRACING PLAN

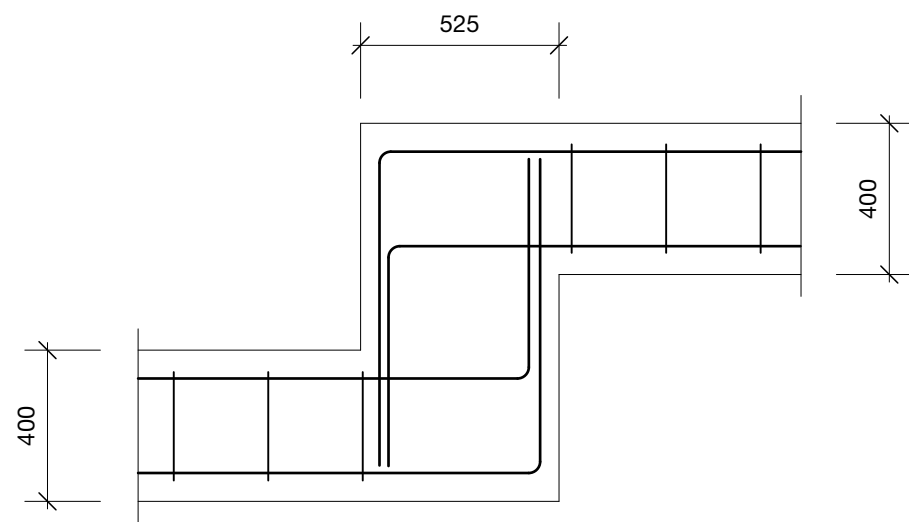
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D. Cowie	D. Cowie	3/12/21	1:100	2107

DWG No. **14** A REV OF 23

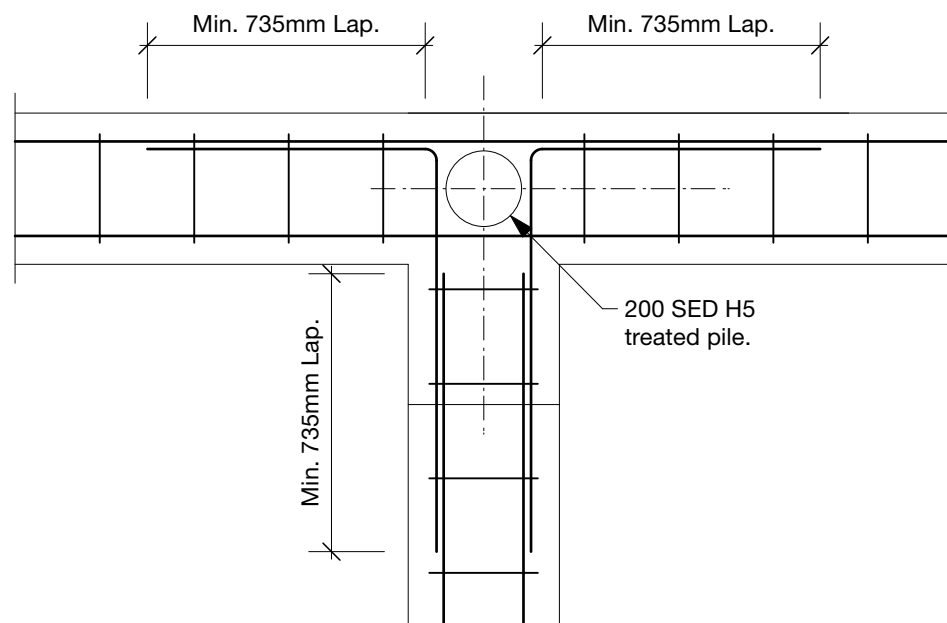
Don Cowie  
Draughting &  
Design Services Ltd

N.Z.C.E.

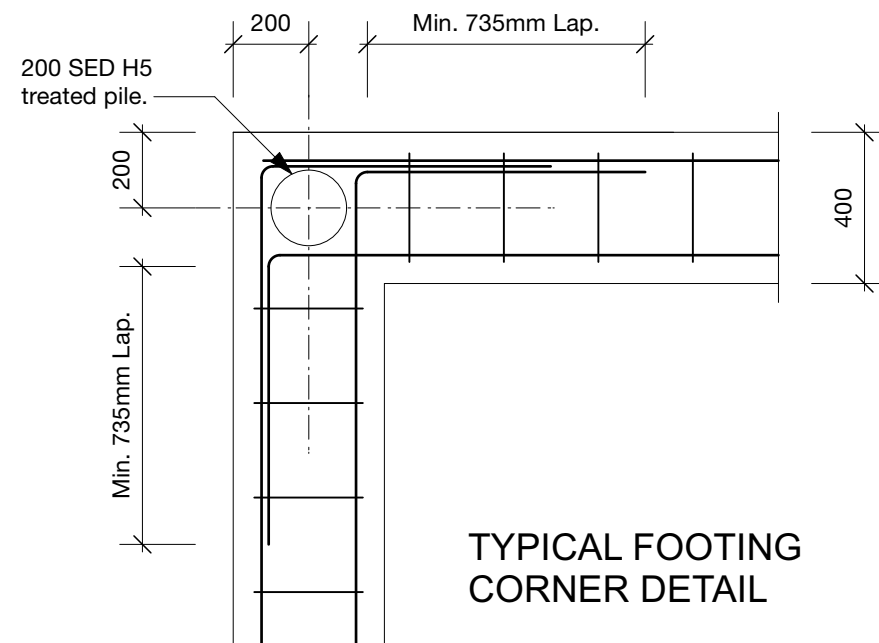
20 Waimarie Street Hamilton  
Ph. 07 847 8864 Mobile 027 6041 392  
Email: dcowie\_design@hotmail.com



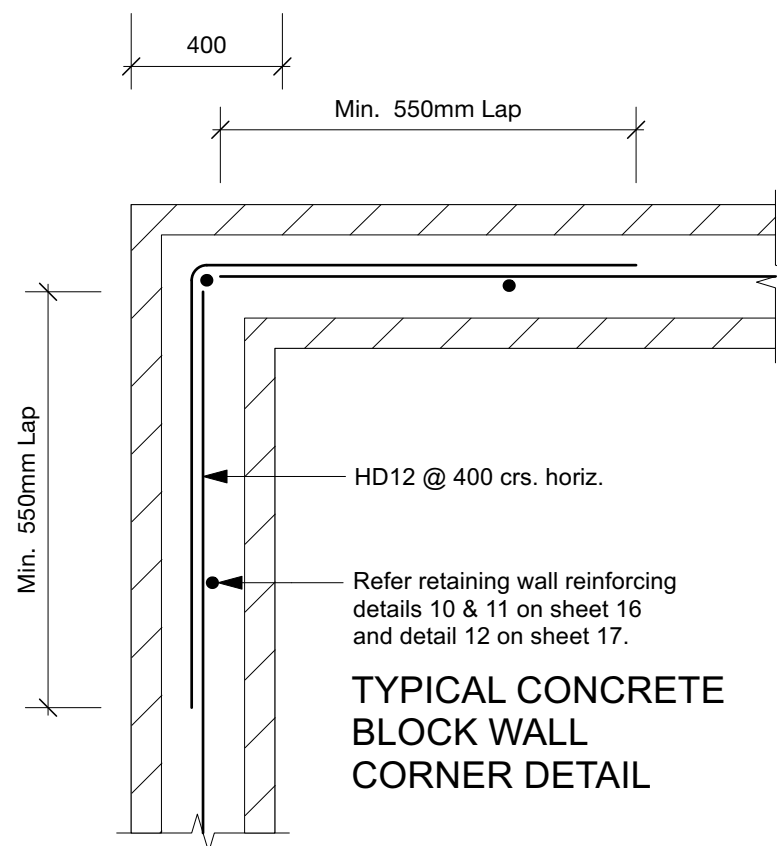
FOOTING STEP ELEVATION



TYPICAL FOOTING INTERSECTION DETAIL



TYPICAL FOOTING CORNER DETAIL



TYPICAL CONCRETE BLOCK WALL CORNER DETAIL

## CONCRETE NOTES

- 1 CONCRETE TO BE 20MPa
- 2 ALL STEEL INCLUDING MESH SHALL BE DUCTILITY CLASS E IN ACCORDANCE WITH NZS 4671
- 3 BAR REINFORCEMENT SHALL BE GRADE 500 UNO.
- 4 LAP MESH 225mm MINIMUM OR GREATER IF MANUFACTURER RECOMMENDS.
- 5 CONCRETE PLACING, FINISHING & CURING SHALL BE IN ACCORDANCE WITH NZS3109:1997.
- 6 CURING OF THE CONCRETE MUST TAKE PLACE IMMEDIATELY AFTER FINISHING THE CONCRETE BY PONDING OR CONTINUOUSLY SPRINKLING OF WATER.
- 7 SHRINKAGE CONTROL JOINTS: GENERALLY SAW CUTS ARE TO COINCIDE WITH MAJOR CHANGES IN PLAN. WHERE THE CONCRETE IS TO BE EXPOSED OR BRITTLE COVERING PLACED OVER, SPACED AT 6m CENTRES MAXIMUM TO CREATE BAYS WITH LENGTH: WIDTH RATIO OF 2:1.
- 8 SHRINKAGE CONTROL JOINTS SHALL BE FORMED BY SAW CUTTING 25mm DEEP AFTER CONCRETE HARDENING AND NO LATER THEN 24 HOURS.
- 9 PLUMBING & SERVICES SHALL BE CONVEYED UNDERGROUND TO THEIR PLAN LOCATION AND THEN BROUGHT UP THROUGH THE SYSTEM. AT NO STAGE SHALL ANY OF THE REINFORCEMENT BARS BE RELOCATED OR CUT TO ALLOW FOR THE SERVICES. SERVICES ARE TO BE PLACED CENTRALLY WITHIN AN OPENING 50mm GREATER IN DIAMETER THAN THE PIPE. HORIZONTAL PENETRATIONS THROUGH BEAMS SHALL BE LOCATED IN THE CENTRAL THIRD. ALL PIPES SHALL BE WRAPPED IN DENSO TAPE AND THE GAP SEALED WITH COMPRESSIVE FOAM.
- 10 PROVIDE MIN. 75MM COVER TO FOOTING REINFORCEMENT.

## PILE NOTES

- 1 ALL PILES TO BE PLACED SMALL END DOWN AND DRIVEN TO THE FOLLOWING CRITERIA;  
200 SED PILES:  
HAMMER WEIGHT = 500kg  
DROP = 1.0m  
SET = 15mm / BLOW  
250 SED PILES:  
HAMMER WEIGHT = 500kg  
DROP = 1.0m  
SET = 10mm / BLOW
- 2 MINIMUM PILE EMBEDMENT DEPTH TO BE 5m min. for leading edge piles.
- 3 PRE-DRILL HOLES 2.5m. CARE IS TO BE TAKEN WHEN DRIVING PILES IN TERMS OF VIBRATION EFFECTS ON ADJACENT STRUCTURES & SERVICES
- 4 ENGINEER TO OBSERVE THREE TEST PILES AT OPPOSITE ENDS OF THE SITE
- 5 DRAWINGS TO BE READ IN CONJUNCTION WITH TITUS CONSULTING ENGINEERING ASSESSMENT AND DESIGN REPORT 11122 DATED 19 JUNE 2020
- 6 CUT TOP SURFACES ON PILES TO BE TREATED WITH TWO COATS OF METALEX
- 7 ALL PILES TO BE HIGH DENSITY PILES
- 8 ALL PILES TO BE TREATMENT CLASS H5
9. BACKFILL HOLES AROUND LEADING EDGE PILES WITH LOOSE SAND OR CONCRETE TO ENSURE NO VOIDS ARE PRESENT.

## MASONRY NOTES

- 1 ALL MASONRY WALL SHALL BE LAID STRETCHER (RUNNING) BOND
- 2 ALL MASONRY GROUT TO BE 20MPa MIN. STRENGTH AFTER 28 DAYS
- 3 ALL GROUTING SHALL BE CARRIED OUT USING THE HIGH LIFT GROUTING METHOD
- 4 ALL MASONRY UNITS SHALL BE SOLID FILLED WITH GROUT
- 5 ALL WALL ENDS TO BE TRIMMED WITH HD12 BAR (U.N.O.) ALL WALLS TO HAVE HD12 BOND BEAM AT TOP UNO
- 6 PROVIDE CONTROL JOINTS: - MAXIMUM 5.0m CENTRES OR ONE SIDE OF DOOR OPENINGS
- 7 CONTROL JOINTS ARE NOT REQUIRED IN RETAINING WALLS (U.N.O.)
- 8 ALL HORIZONTAL AND VERTICAL WALL REINFORCEMENT TO HAVE 200mm HOOK RETURN ENDS



**BUILDING UNIT**  
**APPROVED AMENDMENT**

BC Number - DD007.2021.00043914.002

**Don Cowie**  
**Draughting &**  
**Design Services Ltd**  
N.Z.C.E.

20 Waimarie Street Hamilton  
Ph. 07 847 8864 Mobile 027 6041 392  
Email: dcowie\_design@hotmail.com

## DESIGN ENGINEER

The structural elements designated \*  
on this drawing have been designed by Arnold &  
Johnstone 2015 Ltd, Consulting Engineers

Date 31.08.23

Job No 12843

Signed

**PROPOSED CAMERON RESIDENCE**  
**AT LOT 2 SH26 HAMILTON.**

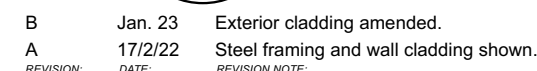
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DRAWN	CHECKED	DATE	SCALE @ A3	JOB No.	DWG No.
D. Cowie	D. Cowie	3/12/21	1:20	2107	15
					REV
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Date 31.08.23  
Job No 12843 Signed 



Retaining wall foundations are to be poured first followed by laying of the bottom course of conc. blocks, then the remainder of the Basement foundations can be boxed and poured with the concrete slab.




DRAWN	CHECKED	DATE	SCALE @ A3	JOB No.
D. Cowie	D. Cowie	3/12/21	1:20	2107

DWG No.  
**16**  
OF 23

10 BASEMENT RETAINING  
WALL 2 DETAIL \*

PROPOSED CAMERON RESIDENCE  
AT LOT 2 SH26 HAMILTON.

B	9/7/23	Detail 16 Amended to show 89 SHS veranda post fixing. Detail 13A, 17 & 19 cladding change.
A	17/2/22	Detail 13A added for Garage columns.
REVISION:	DATE:	REVISION NOTE:



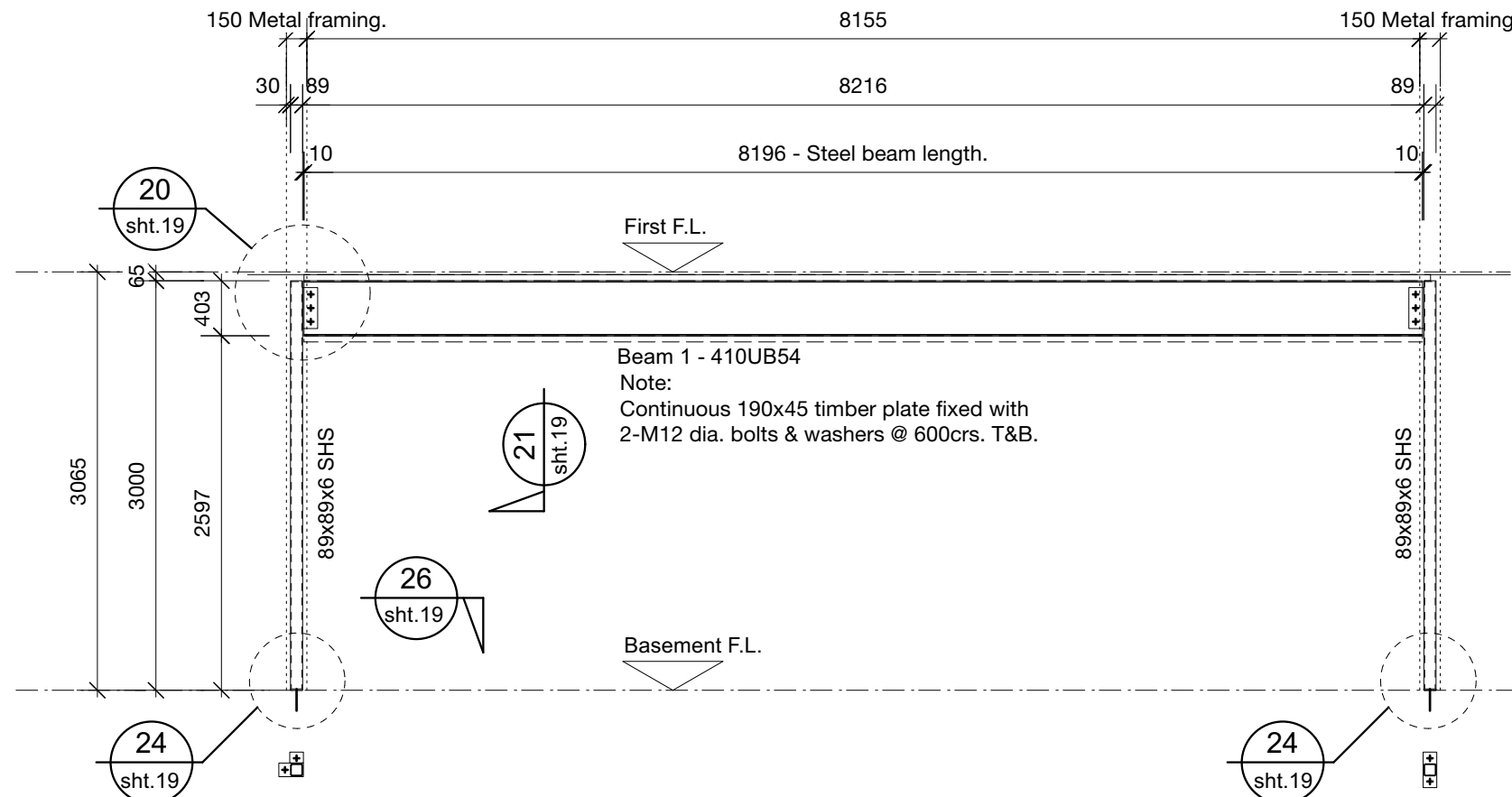
## FOUNDATION DETAILS

DWG No.  
17  
 B  
 REV

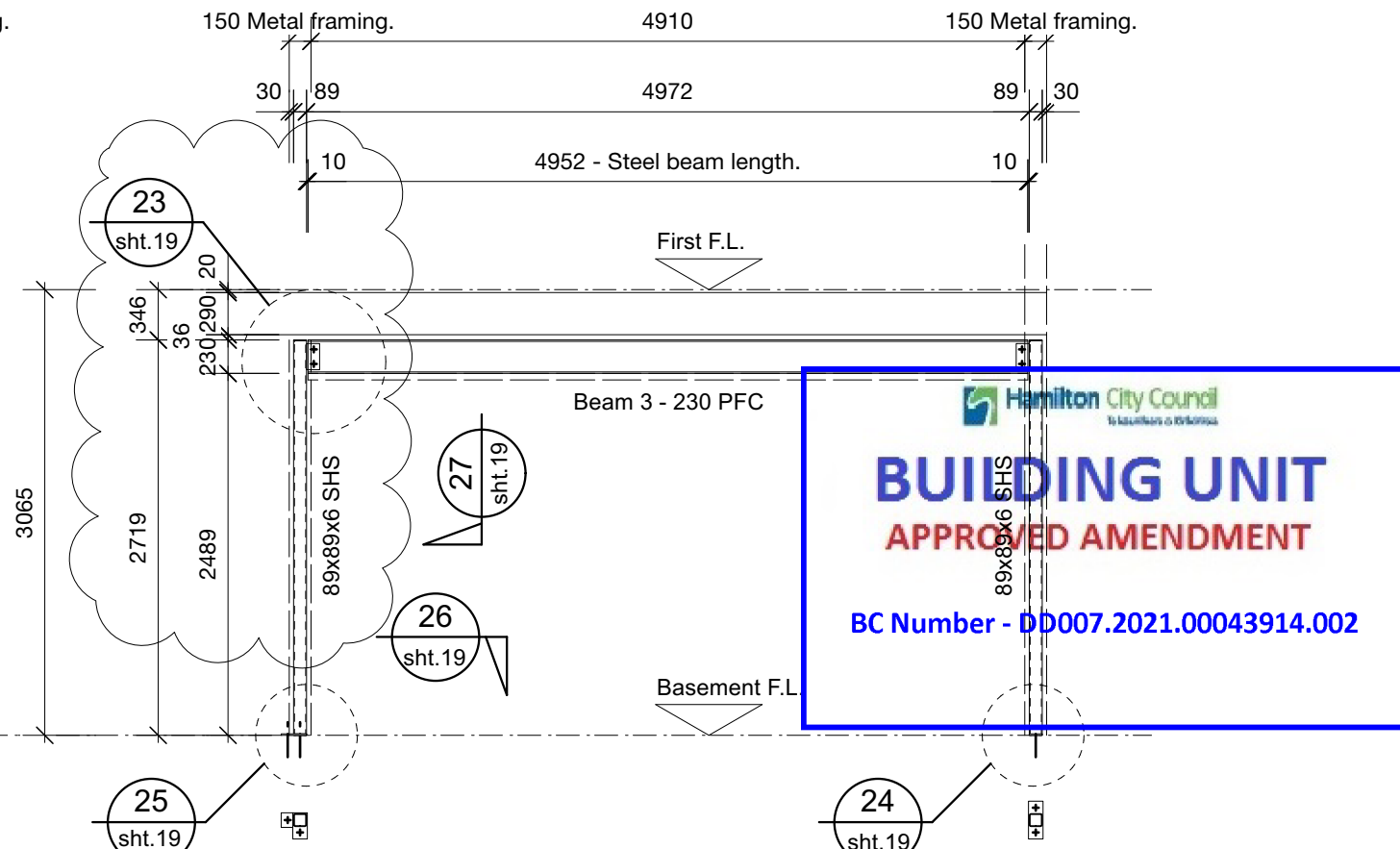
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D. Cowie	D. Cowie	3/12/21	1:20	2107

OF 23

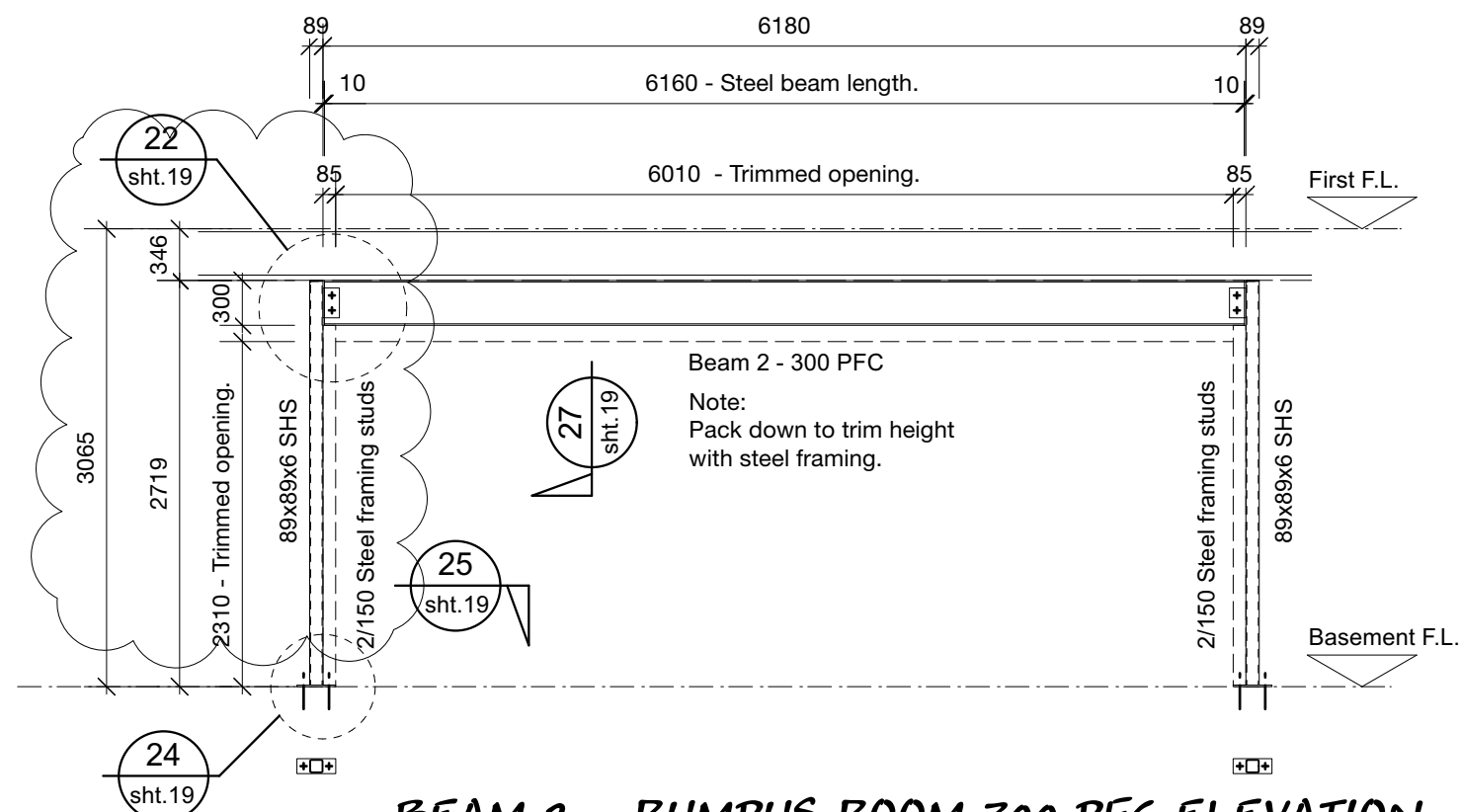




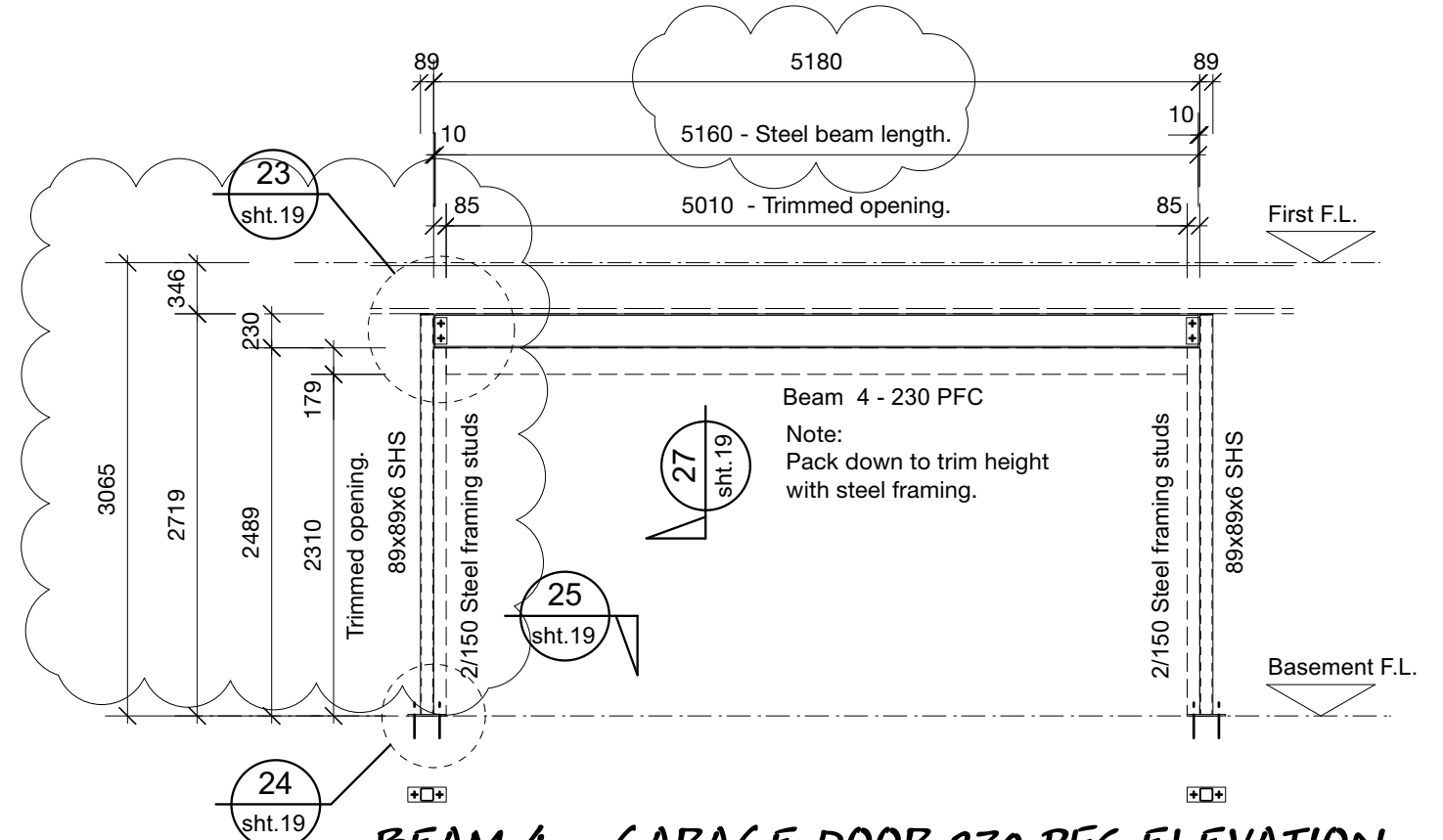
BEAM 1 - WORKSHOP 410UB54 ELEVATION



BEAM 3 - GARAGE 230 PFC ELEVATION



BEAM 2 - RUMPUS ROOM 300 PFC ELEVATION



BEAM 4 - GARAGE DOOR 230 PFC ELEVATION

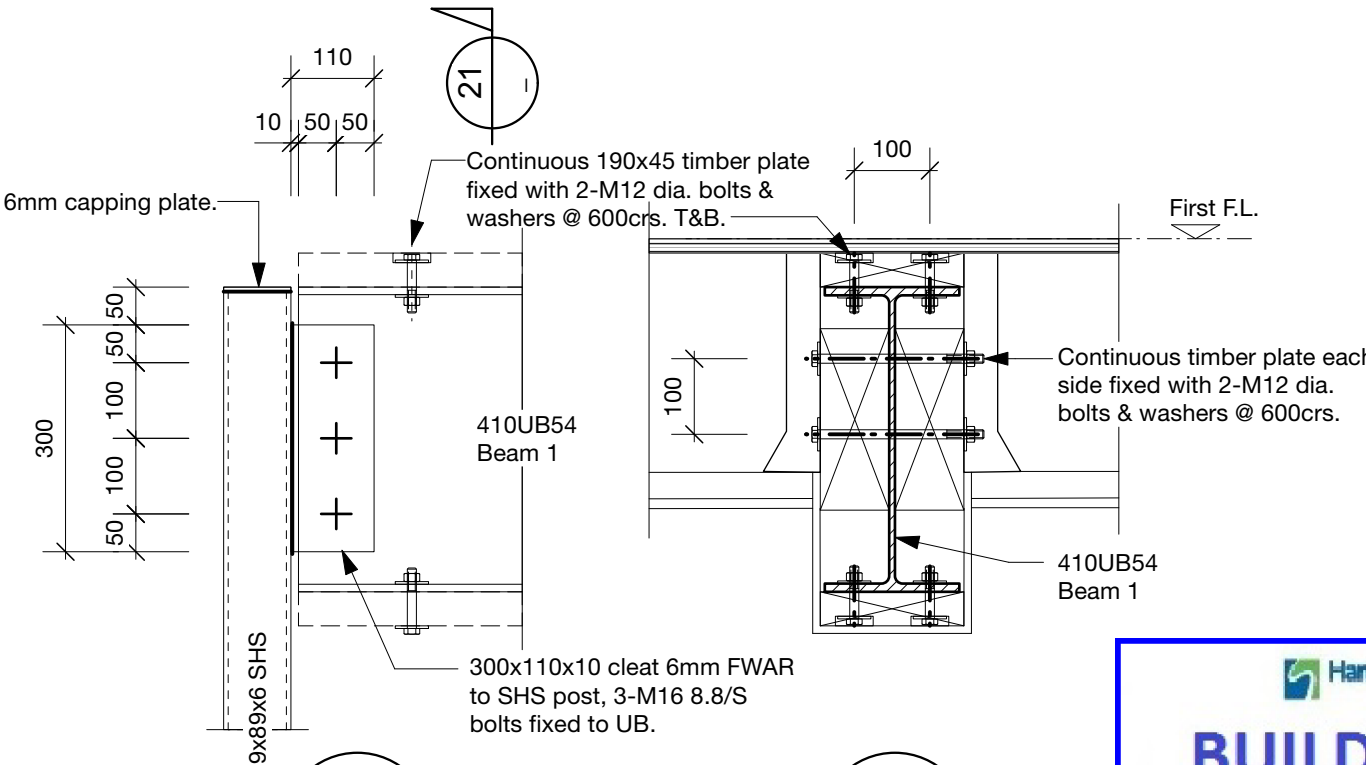
**Don Cowie**  
DESIGN ENGINEER  
The structural elements designated \*  
on this drawing have been designed by Arnold &  
Johnstone 2015 Ltd, Consulting Engineers

Date 31.08.23  
20 Waimarie  
Ph. 07 847 8  
Email: dc.Job No 12843  
Signed *[Signature]*

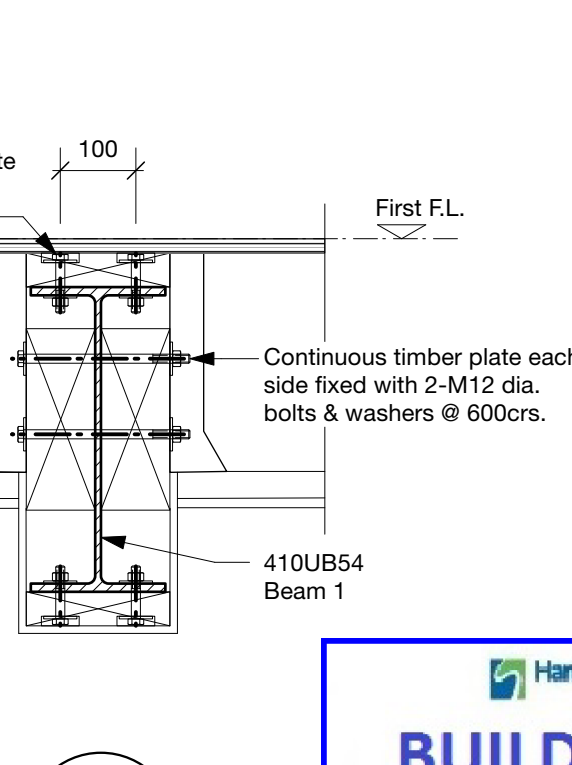
PROPOSED CAMERON RESIDENCE  
AT LOT 2 SH26 HAMILTON.

A  
REVISION: 17/2/22 Steel frame heights amended to suit steel framing.  
DATE: REVISION NOTE:

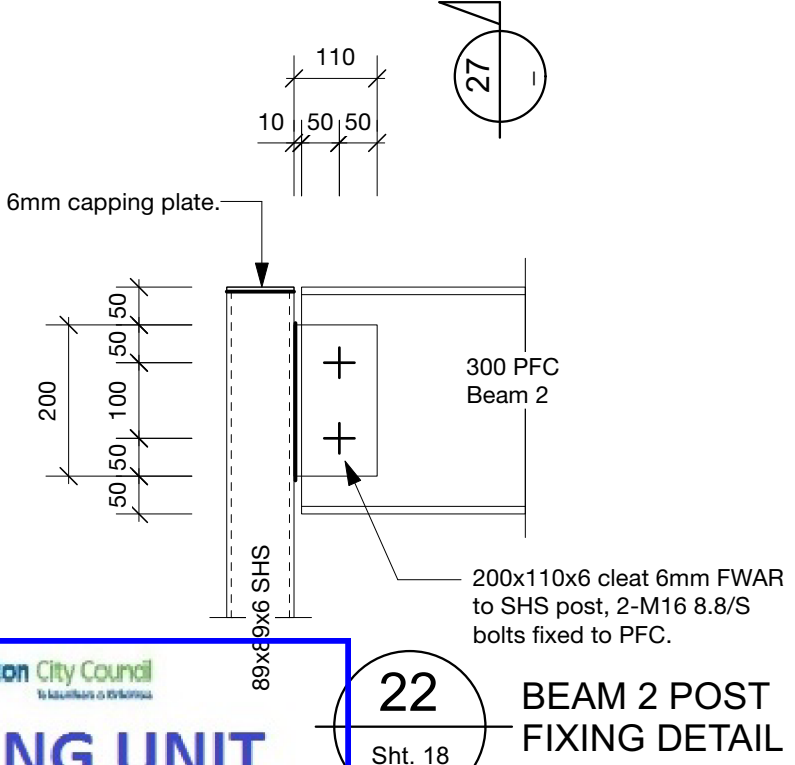
* BASEMENT STEEL BEAM ELEVATIONS					DWG No. <b>18</b> A REV OF 23
DRAWN	CHECKED	DATE	SCALE @ A3	JOB No.	
D. Cowie	D. Cowie	3/12/21	1:50	2107	



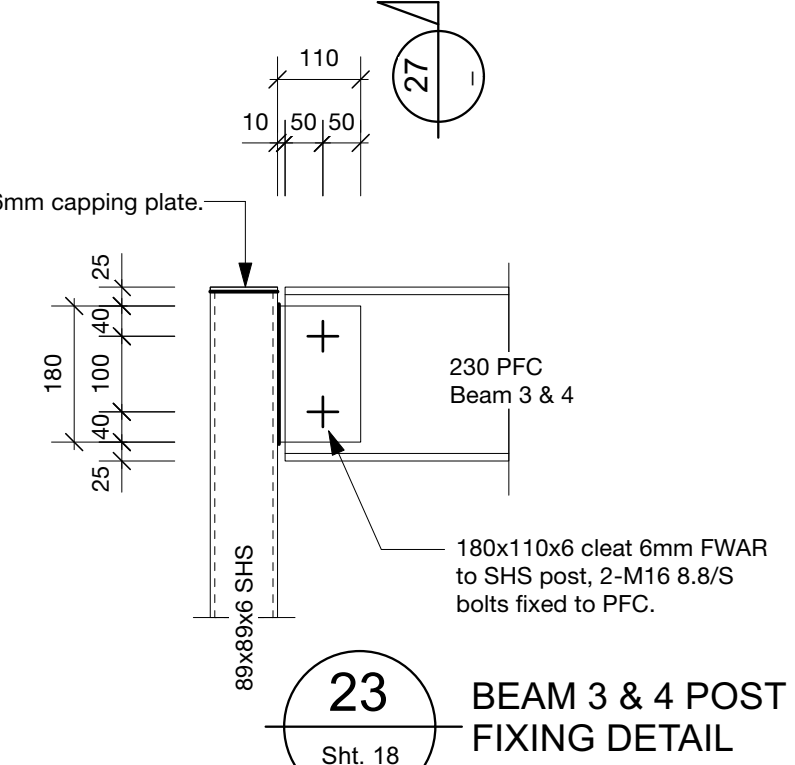
**20**  
Sht. 18  
**BEAM 1 POST  
FIXING DETAIL**



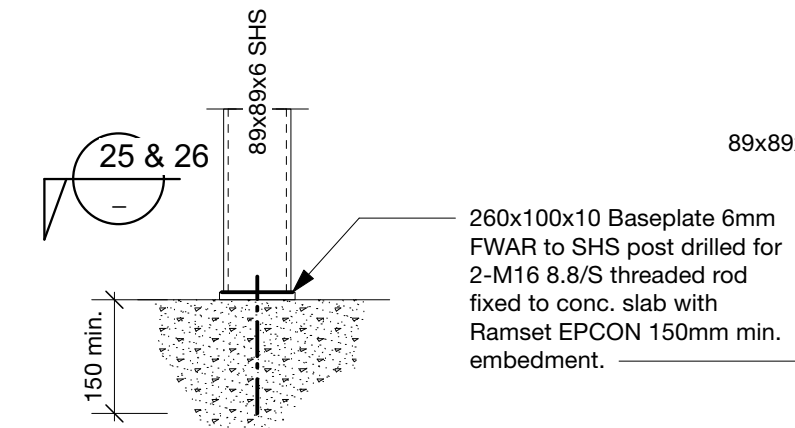
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Sht. 18  
**BEAM 2 JOIST  
FIXING DETAIL**



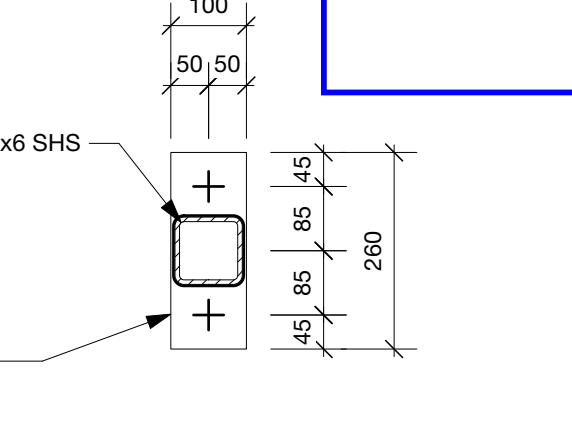
**22**  
Sht. 18  
**BEAM 2 POST  
FIXING DETAIL**



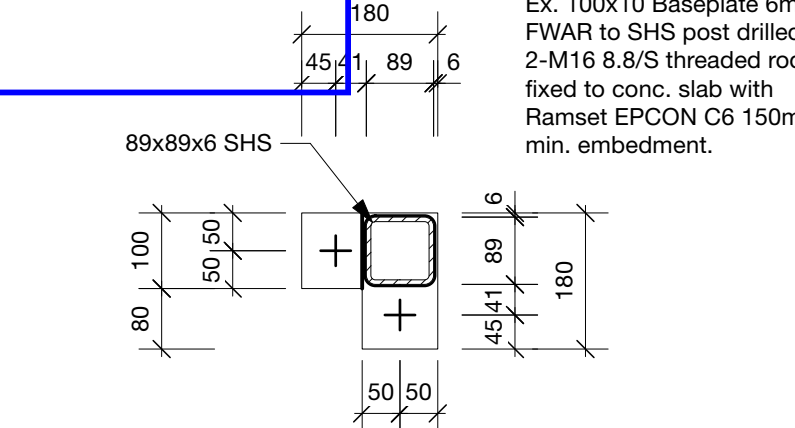
**23**  
Sht. 18  
**BEAM 3 & 4 POST  
FIXING DETAIL**



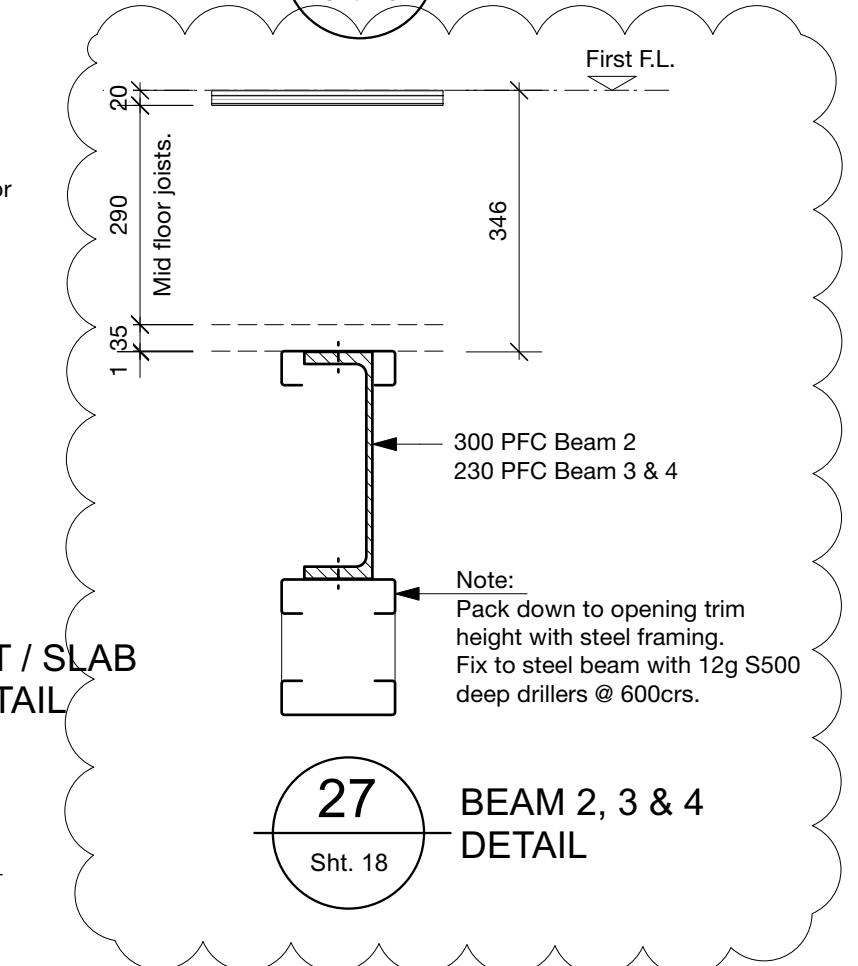
**24**  
Sht. 18  
**BEAM 1, 2, 3 & 4  
POST / SLAB  
FIXING DETAIL**



**25**  
Sht. 18  
**BEAM 1, 2, 3 & 4  
POST / SLAB  
FIXING DETAIL**



**26**  
Sht. 18  
**BEAM 1 & 3 POST / SLAB  
PLAN FIXING DETAIL**



**27**  
Sht. 18  
**BEAM 2, 3 & 4  
DETAIL**

**Notes:**

1. All internal steelwork to be shop primed and painted with Resene 22 interior paint specification.
2. All external steelwork to be painted with Resene Armourcote 210 as per Resene spec.
3. Allow for holes for M12 - 600crs. bolts into beam 1 as required shown for fixing to timber framing.
4. Fasten any HySpan members together with 2 rows of 90x3.3 dia. nails @ 100mm crs. as per figure 9 of the Futurebuild LVL Residential Design Guide.

**DESIGN ENGINEER**

The structural elements designated \* on this drawing have been designed by Arnold & Johnstone 2015 Ltd, Consulting Engineers

Date 31.08.23  
Job No 12843 Signed

**PROPOSED CAMERON RESIDENCE  
AT LOT 2 SH26 HAMILTON.**

B Aug. 23 External steelwork paint finish note added.  
A 172/22 Steel frame heights amended to suit steel framing.

* BASEMENT STEELWORK DETAILS				
DRAWN	CHECKED	DATE	SCALE @ A3	JOB No.
D. Cowie	D. Cowie	3/12/21	1:10	2107

DWG No. **19**  
B  
REV  
OF 23

**Don Cowie  
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Email: dcowie\_design@hotmail.com

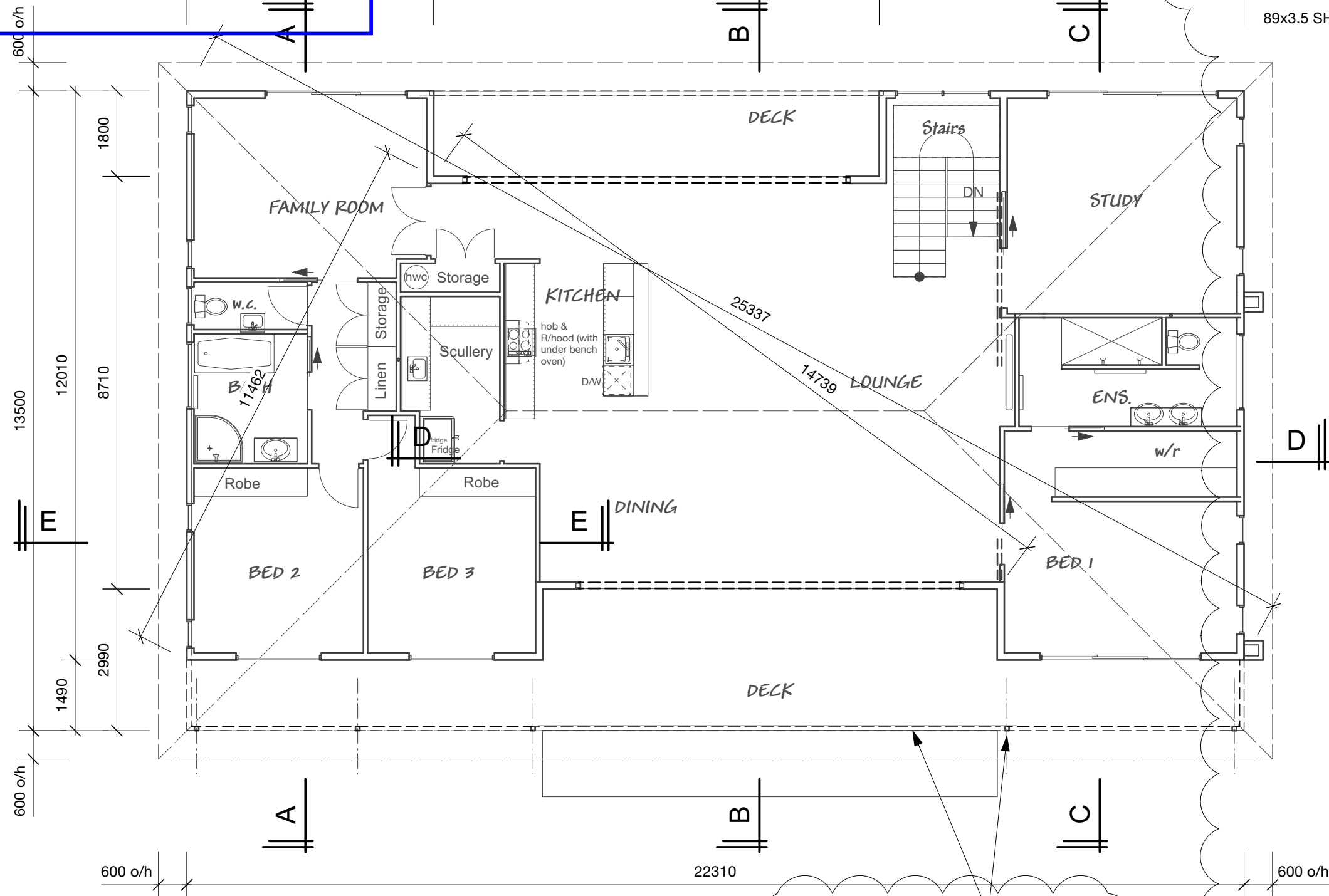


# BUILDING UNIT

## APPROVED AMENDMENT

BC Number - DD007.2021.00043914.002

5210

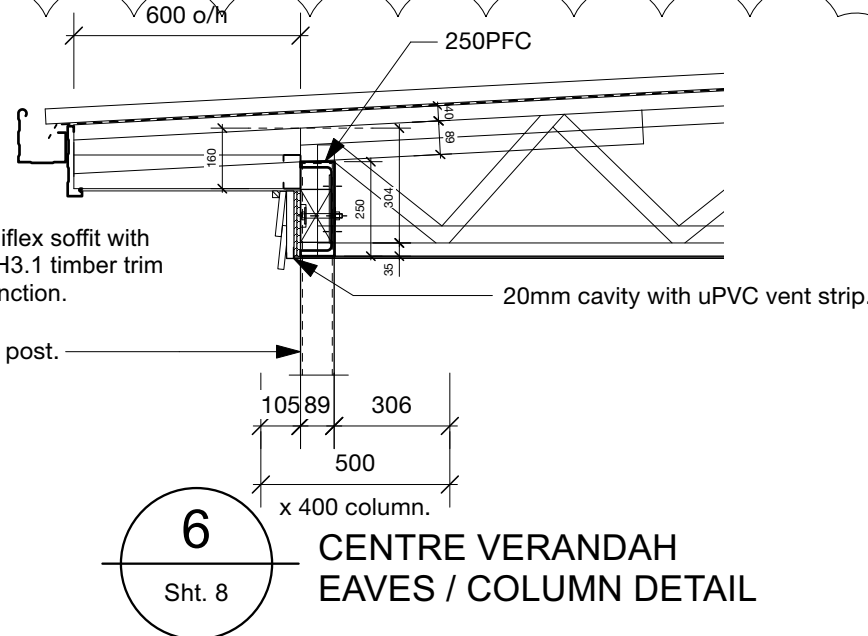


3 degrees pitch Hip Roof:  
600mm eaves over hang.  
40mm Top Hat steel purlins @ 900 crs.  
on Steel roof Trusses @ 900 crs.  
2760 from U/S Trusses to F.L.  
Refer to Steelhaus Roof Framing Plan.

**Deck Construction Note:**  
Veranda and deck posts / beams to be temporary braced to enable the fixing of the roof structure and wall cladding prior to fixing of the deck stringers, joists and decking.

### FIRST FLOOR FRAMING / ROOF SET-OUT PLAN

PROPOSED CAMERON RESIDENCE  
AT LOT 2 SH26 HAMILTON.



Hardies Linea w/bds. exterior cladding on drained 20mm cavity batten system 18mm IBS RigidRAP XT rigid air barrier / thermal barrier on 140x41x0.75 Steelhaus exterior steel wall Framing @ 600crs. with nogs @ 800crs.

Scriber

Hardies or timber  
90x20 trim.

75x75mm aluminium or  
Polythylene back flashing with  
folded edges as per E2/AS1.  
Selected Hardwood vertical  
shiplap w/bds. exterior  
cladding to recessed deck  
areas on drained 20mm  
castellated cavity batten  
system, on 18mm IBS  
RigidRAP XT rigid air barrier  
/ thermal barrier on  
140x41x0.75 Steelhaus  
exterior steel wall  
Framing @ 600crs. with  
nogs @ 480crs. max.

7  
Sht. 2 Scale: 1:5

### HARDIES LINEA W/BD. / TIMBER VERT. SHIPLAP EXTERNAL CORNER DETAIL

B 13/7/23 Cladding amended on detail 6, detail 7 amended & 8 deleted.  
A 17/2/22 Column details 6, 7 & 8 added. Deck construction note added.  
REVISION: DATE: REVISION NOTE:

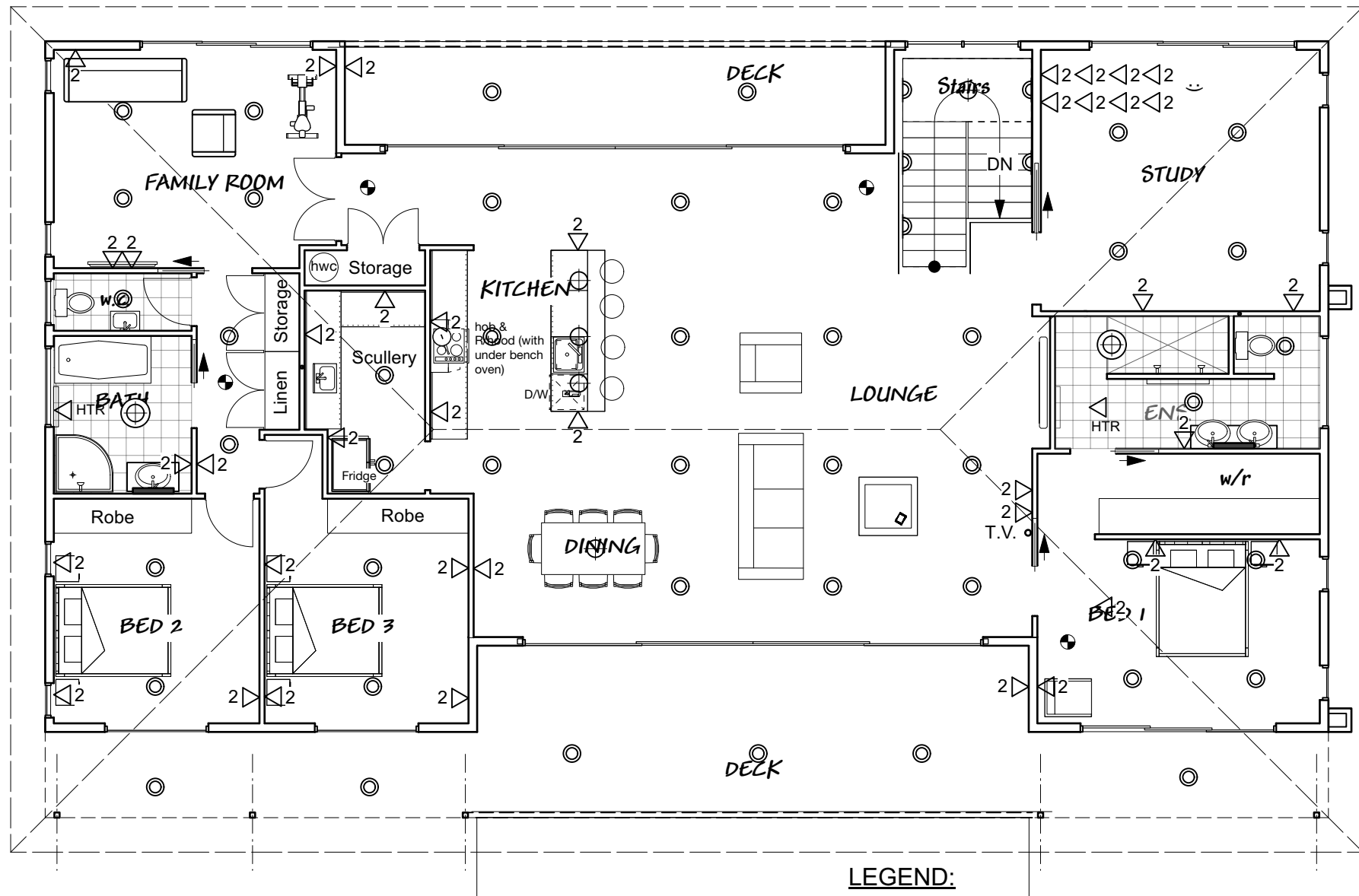
### FIRST FLOOR FRAMING / ROOF SET-OUT PLAN

DRAWN	CHECKED	DATE	SCALE @ A3	JOB No.
D. Cowie	D. Cowie	3/12/21	1:100	2107

DWG No.  
**20**  
REV  
OF 23

**Don Cowie**  
**Draughting &**  
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20 Waimarie Street Hamilton  
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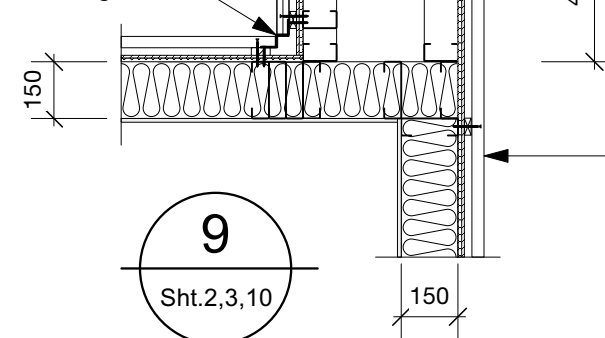
Note:  
All outlets to be protected by surge device at switch board.  
Seperate switching is not shown for:  
Hot water cylinder, Kitchen fittings (cook top, wall oven, dishwasher & microwave. Allow to wire for and install.

Note:  
180 l electric mains pressure hot water cylinder to be fitted as per Acceptable Solutions G12/AS1 fig. 8 with tempering valve as per fig. 16 and seismic restraint to fig. 14 with 40mm dia. min. drain pipe outlet and overflow tray to comply with G12/AS1 6.11.3 & 5.2.3.

Note:  
Extractor fan to Ensuite and Bathroom and Kitchen range hood to be vented to underside of eaves.  
N.B. Flow rates not less than 25 L/sec. for Bathrooms and 50 L/sec. for Kitchen Range hood as per G4/AS1 1.3.3

- Light batten fitting
- Single LED wall light
- Single LED downlight with IC or IC-F rating.
- Exterior Flood light with sensor
- LED Strip light
- Double Power Point
- Heated Towell Rail
- Telephone
- Television
- Extractor fan with light (Vented to underside of eaves)
- Meter Board
- Switch Board
- Domestic Smoke Detector (with hush switch)
- 180 l electric mains pressure hot water cylinder. Refer adjacent note.

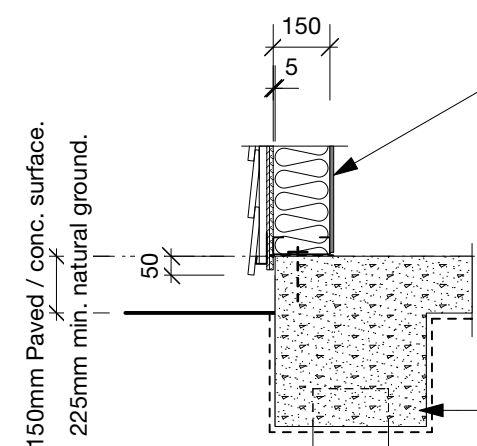
50x50 uPVC corner under flashing.  
Hardies Linea 180 w/bd. S.S. corner soakers.  
Hardies Linea aluminium 'W' flashing.



**FIRST FLOOR/ BASEMENT GARAGE COLUMN DETAIL**

**Column Cladding:**  
Hardies Linea w/bd. exterior cladding on drained 20mm cavity batten system, on 18mm IBS RigidRAP XT rigid air barrier / thermal barrier 3050x1196 sheets on 89x41x0.75 Steelhaus exterior steel wall Framing @ 600crs. with nogs @ 800crs.

**Wall Cladding:**  
Hardies Linea w/bd. exterior cladding on drained 20mm cavity batten system, on 18mm IBS RigidRAP XT rigid air barrier / thermal barrier 3050x1196 sheets on 140x41x0.75 Steelhaus exterior steel wall Framing @ 600crs. with nogs @ 800crs. with R2.8 Batts wall insulation with 10mm GIB bd. interior wall lining.

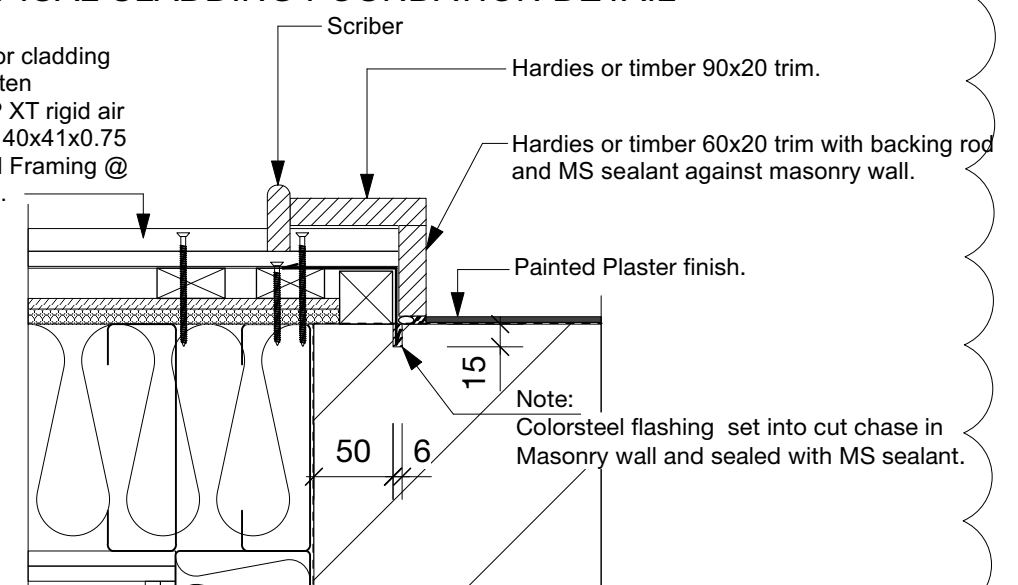


**External Walls:**  
Hardies Linea w/bd. exterior cladding on drained 20mm cavity batten system, on 18mm IBS RigidRAP XT rigid air barrier / thermal barrier 3050x1196 sheets on 140x41x0.75 Steelhaus exterior steel wall Framing @ 600crs. with nogs @ 800crs. with R2.8 Batts wall insulation with 10mm GIB bd. interior wall lining.

Note:  
Refer Detail 13, sheet 17 for main footing reinf.

**TYPICAL CLADDING FOUNDATION DETAIL**

Hardies Linea w/bds. exterior cladding on drained 20mm cavity batten system 18mm IBS RigidRAP XT rigid air barrier / thermal barrier on 140x41x0.75 Steelhaus exterior steel wall Framing @ 600crs. with nogs @ 800crs.



Note:  
Colorsteel flashing set into cut chase in Masonry wall and sealed with MS sealant.

**HARDIES LINEA W/BD. / MASONRY VERTICAL WALL JOINT DETAIL**

REVISION: DATE: REVISION NOTE:  
C 9/10/23 Hardies W/Bd. / Masonry Wall Vertical Joint Detail added.  
B 13/07/23 Cladding amended on details.  
A 17/2/22 180L HWC note added and Garage column & cladding details added. Gas Infinity unit note removed.

FIRST FLOOR ELECTRICAL PLAN				
DRAWN	CHECKED	DATE	SCALE @ A3	JOB No.
S. Fowler	D. Cowie	3/12/21	1:100, 1:20, 1:5	2107

DWG No. **21**  
REV OF 23

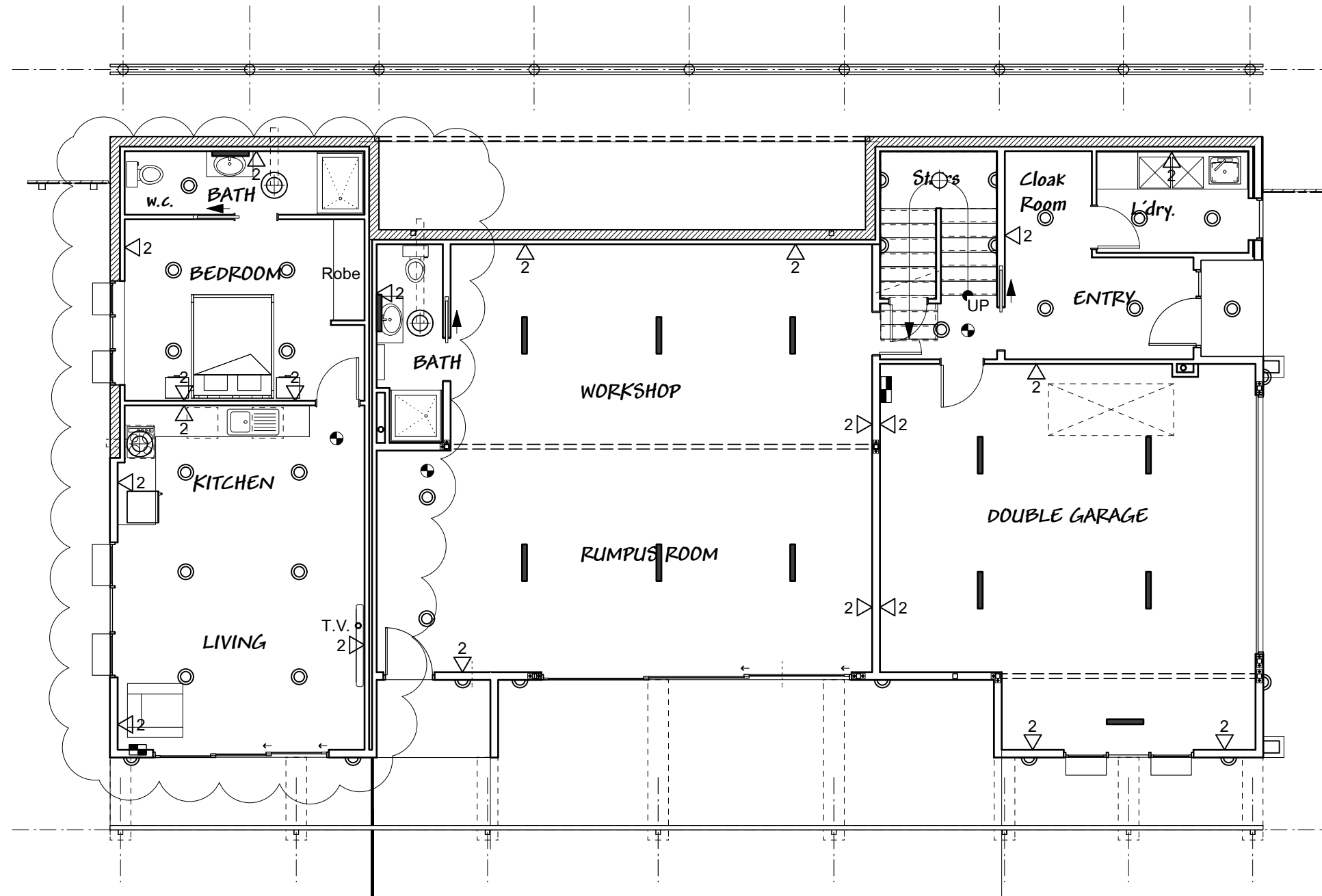
**Don Cowie**  
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**FIRST FLOOR ELECTRICAL PLAN**  
**APPROVED AMENDMENT**

**PROPOSED CAMERON RESIDENCE**  
**LOT 2 SH26 HAMILTON.**

**BC Number - DD007.2021.0004391402**





# LEGEND:

- ⊕ Light batten fitting
- ⌞ Single LED wall light
- ⊙ Single LED downlight with IC or IC-F rating.
- ◁ Exterior Flood light with sensor
- LED Strip light
- ◁2 Double Power Point
- ◁HTR Heated Towell Rail
- T/ph Telephone
- T.V. Television
- ⊕ Extractor fan with light (Vented through wall)
- ▬ Meter Board
- ▬ Switch Board
- ⊙ Domestic Smoke Detector (with hush switch)

Note:  
All outlets to be protected by surge device at switch board.  
Seperate switching is not shown for Ancillary Flat:  
Hot water cylinder, Kitchen fittings (cook top, wall oven, dishwasher & microwave. Allow to wire for and install.

Note:  
Extractor fans to Bathrooms and Kitchen range hood to be vented through walls.  
N.B. Flow rates not less than 25 L/sec. for Bathrooms and 50 L/sec. for Kitchen Range hood as per G4/AS1 1.3.3

## BASEMENT ELECTRICAL PLAN



## BUILDING UNIT APPROVED AMENDMENT

BC Number - DD007.2021.00043914.002

PROPOSED CAMERON RESIDENCE  
AT LOT 2 SH26 HAMILTON.

B 18/8/23 Ancillary Flat switch board & Range hood location shown.  
A 17/2/22 as Infinity unit note removed from Legend.  
REVISION: DATE: REVISION NOTE:

## BASEMENT ELECTRICAL PLAN

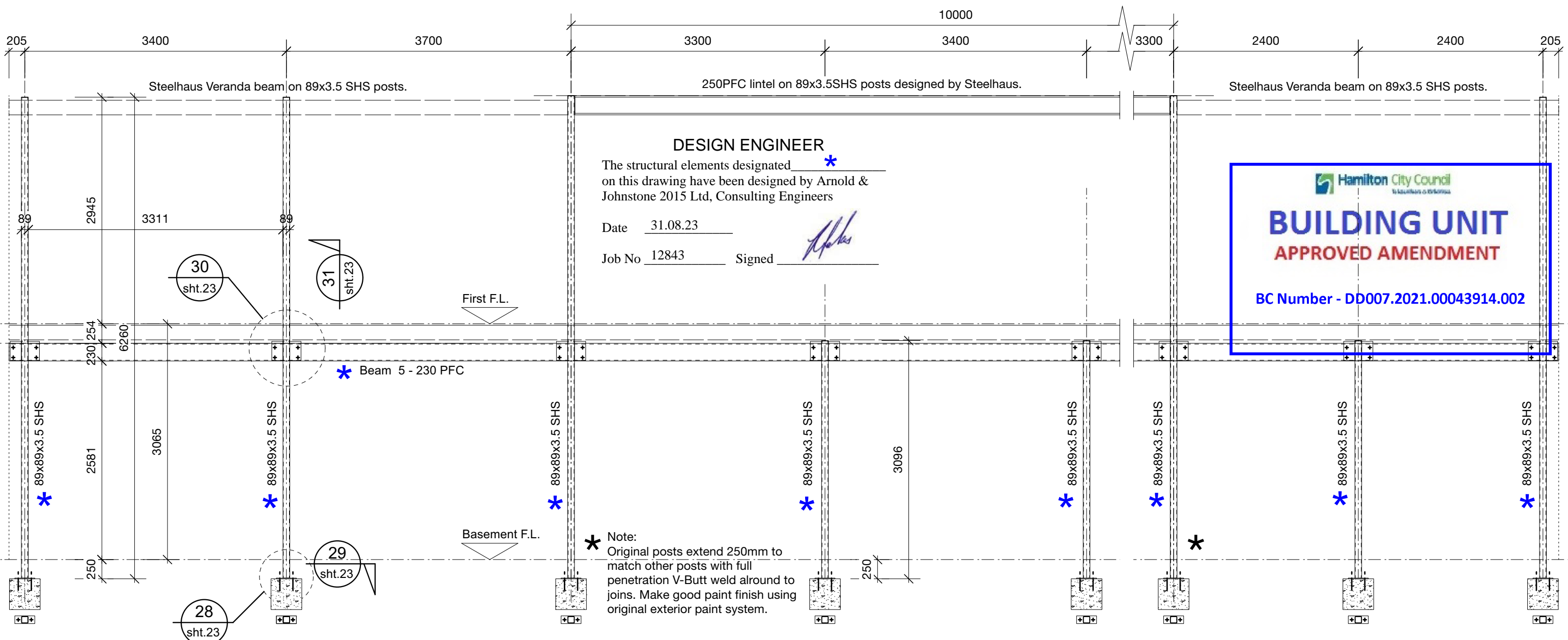
DRAWN	CHECKED	DATE	SCALE @ A3	JOB No.
S. Fowler	D. Cowie	3/12/21	1:100	2107

DWG No.  
**22**  
REV  
OF 23

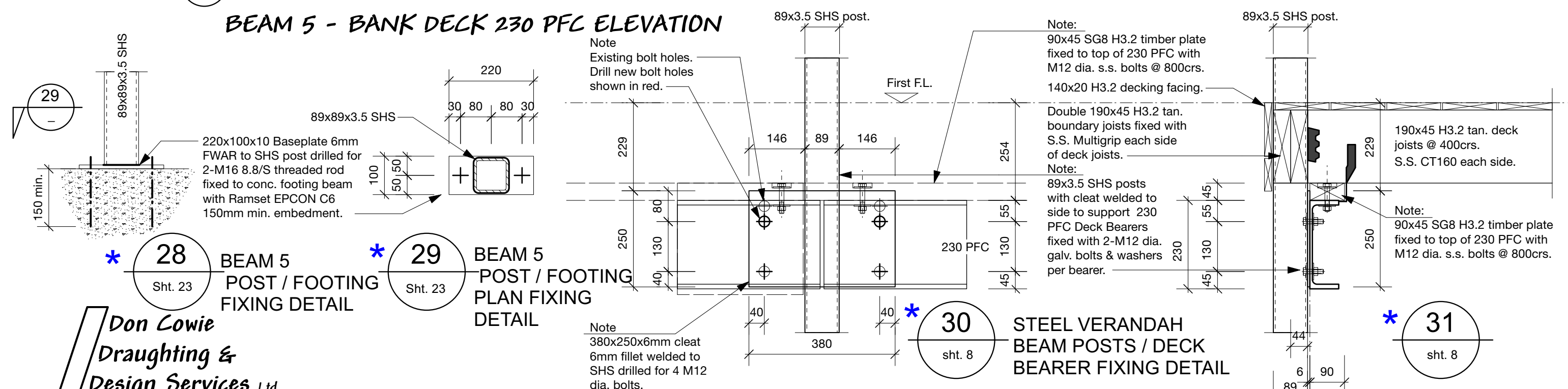
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BEAM 5 - BANK DECK 230 PFC ELEVATION

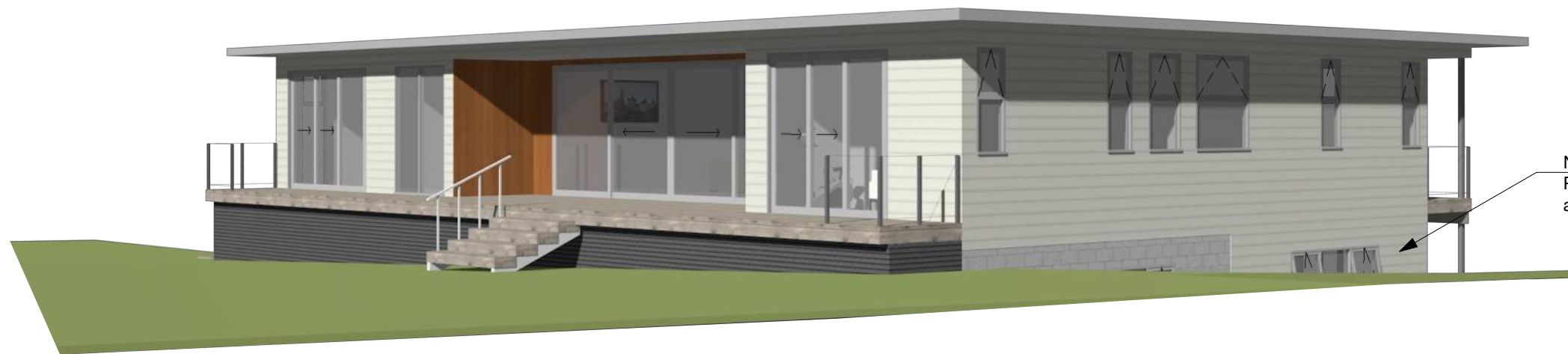


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PROPOSED CAMERON RESIDENCE  
AT LOT 2 SH26 HAMILTON.

BANK STEEL DECK BEAM ELEVATION					DWG No. <b>23</b> REV OF 23
REVISION:	DATE:	REVISION NOTE:			
DRAWN D. Cowie	CHECKED D. Cowie	DATE 1/23	SCALE @ A3 1:50, 1:10	JOB No. 2107	





**Hamilton City Council**  
To Kaitiaki o Hāwhiora

**BUILDING UNIT**  
**APPROVED AMENDMENT**

BC Number - DD007.2021.00043914.002

**Don Cowie**  
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**PROPOSED CAMERON RESIDENCE**  
**AT LOT 2 SH26 HAMILTON.**

A Jan. /23 Cladding change and ancillary Flat shown.  
REVISION: DATE: REVISION NOTE:

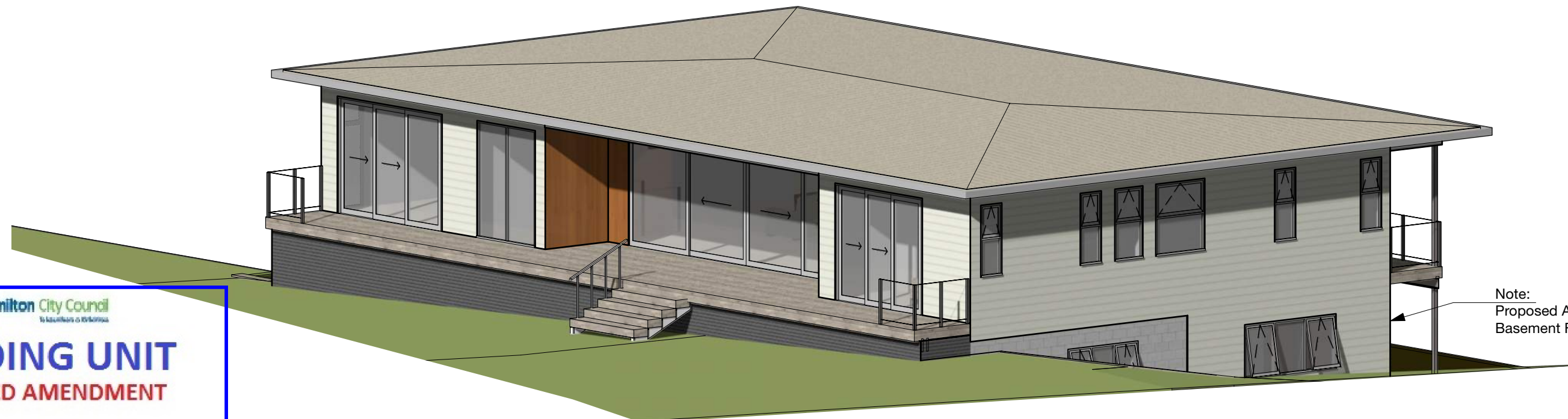
PROPOSED RENDERS 1				
DRAWN	CHECKED	DATE	SCALE @ A3	JOB No.
D. Cowie	D. Cowie	May 2022	NTS	2107

DWG No.	REV
<b>R1</b>	A
OF	23

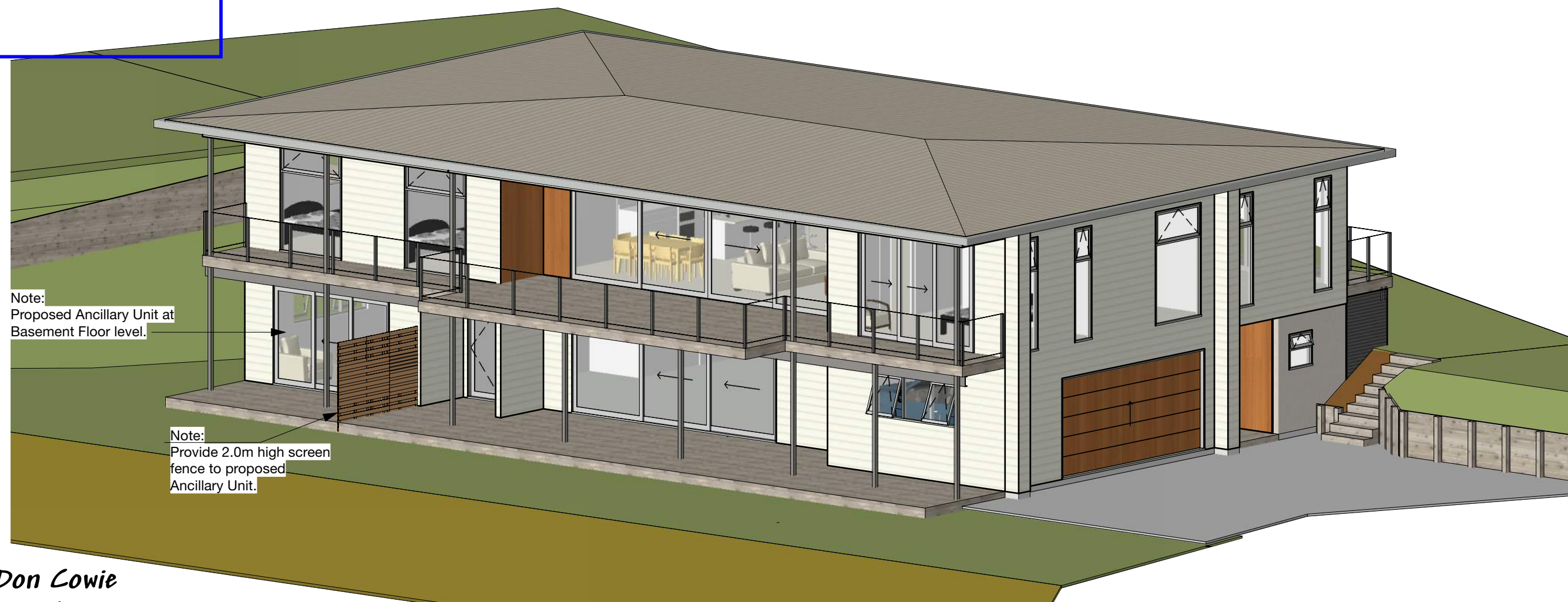


# BUILDING UNIT APPROVED AMENDMENT

BC Number - DD007.2021.00043914.002



Note:  
Proposed Ancillary Unit at  
Basement Floor level.



Note:  
Proposed Ancillary Unit at  
Basement Floor level.

Note:  
Provide 2.0m high screen  
fence to proposed  
Ancillary Unit.

Don Cowie  
Draughting &  
Design Services Ltd

N.Z.C.E.

PROPOSED CAMERON RESIDENCE  
AT LOT 2 SH26 HAMILTON.

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A Jan. /23 Cladding change and ancillary Flat shown.  
REVISION: DATE: REVISION NOTE:

PROPOSED RENDERERS 2				
DRAWN	CHECKED	DATE	SCALE @ A3	JOB No.
D. Cowie	D. Cowie	May 2022	NTS	2107

DWG No.  
**R2**  
REV  
OF 23





## BUILDING UNIT APPROVED AMENDMENT

BC Number - DD007.2021.00043914.002



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**PROPOSED CAMERON RESIDENCE  
AT LOT 2 SH26 HAMILTON.**

B Jan. 23 Cladding change and ancillary Flat shown.  
A 17/2/22 Deck amended for resource consent application.  
REVISION: DATE: REVISION NOTE:

### PROPOSED RENDERS 3

DRAWN	CHECKED	DATE	SCALE @ A3	JOB No.
D. Cowie	D. Cowie	Feb. 2022	NTS	2107

DWG No. **R3**  
B  
REV  
OF 23